



Scenic Pacifica

Incorporated Nov. 22, 1957

ZONING ADMINISTRATOR Agenda

CORONAVIRUS DISEASE (COVID-19) NOTICE

THIS MEETING WILL BE CONDUCTED PURSUANT TO THE PROVISIONS OF THE GOVERNOR'S EXECUTIVE ORDERS N-25-20 AND N-29-20 WHICH SUSPEND CERTAIN REQUIREMENTS OF THE BROWN ACT AND PURSUANT TO THE ORDERS OF THE HEALTH OFFICER OF SAN MATEO COUNTY. THIS MEETING IS NECESSARY SO THAT THE CITY CAN CONDUCT NECESSARY BUSINESS AND IS PERMITTED UNDER THE ORDERS AS AN ESSENTIAL GOVERNMENTAL FUNCTION.

Consistent with the above-referenced Orders, this Zoning Administrator Meeting will not be physically open to the public and the Zoning Administrator and staff will be video/teleconferencing into the meeting. The meeting will be conducted via Zoom Webinar.

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting from home. Below is information on how the public may observe and participate in the meeting.

To Observe the Meeting:

- To access the meeting by computer / smartphone, go to: <https://zoom.us/j/91091651255>
- To dial-in via phone: +1 (669) 900-6833
Then enter Webinar ID: 910 9165 1255

To Participate in the Meeting by Providing Public Comment:

- **During the Meeting:** Live verbal public comments may be made by members of the public joining the meeting via Zoom (computer, smartphone/tablet app, or phone). Zoom access information is provided above. Use the "raise hand" feature (for those joining by phone, **press *9 to "raise hand"**) during the public comment period for the agenda item you wish to address. City staff will call on people to speak by name provided or last 4 digits of phone number for dial-in attendees. Please clearly state your full name for the record at the start of your public comment. You will have 3 minutes to speak unless modified by the meeting chair.
- **Before the Meeting:** Written public comments for the record may be submitted in advance by 4:00 p.m. on the meeting date by email to: publiccomment@ci.pacifica.ca.us and will be made part of the written record but will not be read verbally at the meeting. Written public comments submitted by email should adhere to the following:
 - Clearly indicate the Agenda Item No. or specify "Oral Communications" in the Subject Line for items not on the agenda
 - Include the submitter's full name

Written public comments received by 4:00 p.m. on the meeting date will be provided in their entirety to the Zoning Administrator prior to the meeting and will be made part of the written record but will not be read verbally at the meeting. Written public comments will be posted to the City's website for review prior to the meeting.

Note: The methods of observing the meeting or providing public comments may be altered or the meeting may be cancelled, if needed. You may check on the status of the meeting by visiting the City's website at www.cityofpacifica.org for any updates or changes, should they occur.

DATE: July 8, 2020

LOCATION: Zoom Meeting (Online): <https://zoom.us/j/91091651255>, or Dial (669) 900-6833 and enter Webinar ID: 910 9165 1255

TIME: 5:30 PM

ADMINISTRATIVE BUSINESS:

1. **Approval of Minutes** February 12, 2020
2. **Oral Communications** This portion of the agenda is available to the public to address the Zoning Administrator on any issue within the subject matter jurisdiction of the Zoning Administrator that is not on the agenda. The time allowed for any speaker will be three minutes.

PUBLIC HEARINGS:

3. **PSD-850-20
UP-123-20
CDP-422-20** **FILE NO. 2020-008 FOR SITE DEVELOPMENT PERMIT PSD-850-20, USE PERMIT UP-123-19 and COASTAL DEVELOPMENT PERMIT CDP-422**, filed by agent Brian Brinkman, to construct a second- and third-story addition to a single-family residence on a 2,250-square foot nonconforming lot at 155 Salada Ave (APN 016-042-120) in Pacifica.
Recommended California Environmental Quality Act (CEQA) status: Class 1 Categorical Exemption, CEQA Guidelines Section 15301 (Existing Facilities).
Proposed Action: Approve as conditioned.

ADJOURNMENT

Anyone aggrieved by the action of the Zoning Administrator has 10 calendar days to appeal the decision in writing to the Planning Commission. If any of the above actions are challenged in court, issues which may be raised are limited to those raised at the public hearing or in written correspondence delivered to the City at, or prior to, the public hearing. Judicial review of any City administrative decision may be had only if a petition is filed with the court not later than the 90th day following the date upon which the decision becomes final. Judicial review of environmental determinations may be subject to a shorter time period for litigation, in certain cases 30 days following the date of final decision.

The City of Pacifica will provide special assistance for persons with disabilities upon 24 hours advance notice to the City Manager's office at (650) 738-7301, including requests for sign language assistance, written material printed in a larger font, or audio recordings of written material. All meeting rooms are accessible to persons with disabilities.

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ZONING ADMINISTRATOR Agenda

DATE: February 12, 2020
LOCATION: Planning Department Conference Room, 1800 Francisco Boulevard
TIME: 5:30 PM

Zoning Administrator (ZA) Tina Wehrmeister called the meeting to order at 5:32 PM. Contract Planner Christy Usher and Senior Planner Christian Murdock were present as City staff. The applicants, Eduardo Barba Sr. and Eduardo Barba Jr., as well as Jose Barba, were present.

ADMINISTRATIVE BUSINESS:

1. **Approval of Minutes** ZA Wehrmeister approved the minutes from June 12, 2019, without revision.
2. **Oral Communications** No speakers.

PUBLIC HEARINGS:

3. **UP-120-19
CDP-417-19** **FILE NO. 2019-035 FOR USE PERMIT UP-120-19 and COASTAL DEVELOPMENT PERMIT CDP-417-19**, filed by owners Eduardo Barba, Sr. and Eduardo Barba, Jr., to convert second-floor commercial space into two residential dwelling units located above existing ground-floor commercial space located at 2500 and 2530 Francisco Boulevard (APN 016-400-010 and 016-400-020) in Pacifica. The project area was previously converted into a single residential dwelling unit without authorization from the City of Pacifica and this project would legalize the conversion of the second-story into residential use. The project site is located within the C-1 (Neighborhood Commercial) zoning district. Recommended California Environmental Quality Act (CEQA) status: Class 3 Categorical Exemption, CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures)

Proposed Action: Approve as conditioned.

- Contract Planner Usher presented the staff report, followed by a clarification by Senior Planner Murdock as to a revised parking exhibit submitted by the applicant's agent, Richard Lee, prior to the meeting.
- ZA Wehrmeister inquired with staff as to any restrictions limiting the proposed floor plan to a 3 bedroom unit and a studio unit. Senior Planner Murdock responded that the unit configuration was guided by minimum dwelling unit sizes established in the Pacifica Municipal Code.
- ZA Wehrmeister opened the public hearing. She asked if the applicant was agreeable to the conditions of approval, including construction of five covered carport parking spaces. The applicant answered affirmatively. There were no other speakers.
- ZA Wehrmeister closed the public hearing.
- ZA Wehrmeister found the project exempt from the California Environmental Quality Act and approved the project by adopting the attached resolution, inclusive of typographical revisions, clarification regarding the intent of the covered parking condition of approval, and qualifications on certain North County Fire Authority conditions of approval.

ADJOURNMENT

Zoning Administrator Wehrmeister adjourned the meeting at 5:45 PM.



Scenic Pacifica
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ZONING ADMINISTRATOR Staff Report

DATE: July 8, 2020

FILE: PSD-850-20
CDP-422-20
UP-123-20

ITEM:

PUBLIC NOTICE: Notice of Public Hearing was published in Pacifica Tribune on June 24, 2020, and mailed to 328 surrounding property owners and occupants.

APPLICANT/OWNER: Michael and Cathy Ginter
155 Salada Ave.
Pacifica, CA 94044

PROJECT LOCATION: 155 Salada Ave. (APN 016-042-120) – West Sharp Park

PROJECT DESCRIPTION: File No. 2020-008 - Construct a second story addition to a single-family residence on a nonconforming lot at 155 Salada Ave.

SITE DESIGNATIONS: General Plan: High Density Residential (HDR)
Zoning: R-3 (Multiple-Family Residential) / CZ (Coastal Zone Combining)

RECOMMENDED CEQA STATUS: Class 1 Categorical Exemption, Section 15301.

ADDITIONAL REQUIRED APPROVALS: None. Subject to appeal to the Planning Commission.

RECOMMENDED ACTION: Approve as conditioned.

PREPARED BY: Helen Gannon, Assistant Planner

PROJECT SUMMARY, RECOMMENDATION, AND FINDINGS

<u>Major Standards</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Lot Size	5,000 sq. ft. min	2,250 sq. ft.	No change
Lot Coverage	60% max	42.31%	45.64%
Lot Area Per Dwelling Unit Height	2,075 sq. ft. min.	2,250 sq. ft.	No change
<i>Building</i>	35'-0" max	12'-6"	30'-9"
<i>Front yard fence</i>	36" (up to 48" if open work)	45"	No change
Usable Open Space	400 sq. ft. min	402 sq. ft.	410 sq. ft.
Landscaping	20% min	5.37%	20.04%
Setbacks			
<i>Front</i>	15'-0" min	15'-0"	No change
<i>Side</i>	3'-0" min (west)	10'-0"	No change
	3'-0" min (east)	3'-0"	No change
<i>Rear</i>	20'-0" min	24'-9"	No change
Parking	2 garage spaces	1 uncovered space	No change

1. Project Description

The proposed project is for a second-story addition to a 704-square foot (sq. ft.) existing one-story single-family residence on a 2,250-sq.ft. nonconforming lot. The second story addition will consist of a new bedroom, bathroom, family room, and balcony totaling 751-sq. ft. of new living space. The addition will be accessed from a stairway in the center of the first floor near the kitchen area. The existing first floor will be expanded in the front to create a covered front porch and will be remodeled inside to accommodate a new floor plan.

The project site also contains a 221 sq. ft. accessory structure in the rear yard that was added in 2013. The front yard consists of some landscaping and a 45" high fence. Currently, the project site and the adjacent residence to the west at 147 Salada Avenue share a driveway. Both homes were built in 1948 and neither have existing garages. Instead, a 9' by 19' uncovered parking spot is provided in the rear of the property. Despite the existing nonconformity in off-street parking (single-family residences require a two-car garage pursuant to PMC Section 9-4.2818(a)(1)), the Applicant does not need to provide additional off-street parking since there will be no increase in the number of bedrooms. PMC Section 9-4.3002(c)(2)(vi) states:

On a residential lot or parcel where the required number of covered off-street parking spaces has not been provided, additional covered off-street parking spaces shall be required when the addition increases the number of bedrooms of the existing building. Such additional required parking shall meet the requirements of this chapter to the maximum extent feasible as determined by the Planning Administrator or designee.

The project site is a nonconforming lot pursuant to PMC Section 9-4.3002(a) because its 2,250 sq. ft. lot area is less than the 5,000 sq. ft. minimum lot size required by the R-3 zoning standards (PMC Section 9-4.602(a)). The 25-foot lot width also renders the lot to be nonconforming because it is less than the 50-foot lot width that is required by PMC Section 9-4.602(c). Additionally, the existing single-family residential use on the site is a lawful nonconforming use because it requires approval of a use permit pursuant to the R-3 zoning district standards but a use permit has not yet been granted for the site.

2. General Plan, Zoning, and Surrounding Land Uses

The subject site's General Plan land use designation is High Density Residential (HDR). The HDR land use designation permits residential development at an average density of 16 to 21 units per acre. The site, with its 2,250 sq. ft. lot size, is developed at a density of approximately 19 units per acre, consistent with the HDR land use designation.

The subject site's location is within the R-3 (Multiple-Family Residential) and C-Z (Coastal Zone Combining) zoning districts. The R-3 zone allows development of multiple-family dwellings including single-family residences as a conditional use. The minimum lot area per dwelling unit in the R-3 zone is 2,075 sq. ft., and the project site is consistent with this requirement. However, the project site does not comply with the minimum lot area and minimum lot width development standards of the R-3 zone. The C-Z zone, which is also applicable to the project site, supplements the underlying R-3 zoning district with additional standards.

Land uses surrounding the project site consist of multiple-family and single-family residences in the R-3/C-Z zoning districts with the exception of City Hall and the Little Brown Church located to the east within the Public Facilities (P-F) zoning district. Most structures surrounding the project site are one- and two-story structures.

3. Municipal Code

The applicant's proposal requires three approvals under the PMC. The project requires Zoning Administrator approval of the following entitlements:

- *Site Development Permit:* Prior to issuance of building permit, the Zoning Administrator must approve a Site Development Permit because the project involves i) an addition which increases an existing structure's gross square footage by 50 percent or more within the R-3 zone [Sec. 9-4.3201(a)]; and, ii) an alteration to a building on an existing nonconforming lot in excess of 25 percent of the existing floor area [PMC Sec. 9-4.3002(a)(7)(ii)]. The Zoning Administrator shall not issue a Site Development Permit if the Administrator makes any of the findings in PMC Sec. 9-4.3204(a).
- *Coastal Development Permit:* Prior to issuance of a building permit, the Zoning Administrator must approve a Coastal Development Permit because the project involves development in the Coastal Zone [PMC Sec. 9-4.4303(a)] and no exceptions or exclusions are applicable.

- *Use Permit:* Prior to issuance of a building permit, the Zoning Administrator must approve a Use Permit to allow for the existing, nonconforming single-family residential use pursuant to R-3 zoning district standards PMC Section 9-4.601(b)(1). A use permit is necessary to make the existing use of the site conforming with R-3 zoning standards, or else the existing nonconforming use would not be allowed to expand into new areas of the project site (vertically or horizontally) pursuant to PMC Section 9-4.3002(b)(1).

The Zoning Administrator's authority to consider the subject permits is provided in section 9-4.3802(b) of the PMC.

4. Required Findings

A. Site Development Permit PSD-850-20

In order to approve Site Development Permit PSD-850-20, the Zoning Administrator must not make any of the nine findings required by PMC Section 9-4.3204(a). The following discussion supports the Administrator's findings in this regard.

- i. *Required Finding: That the location, size, and intensity of the proposed operation will create a hazardous or inconvenient vehicular or pedestrian traffic pattern, taking into account the proposed use as compared with the general character and intensity of the neighborhood.*

Discussion: The proposed Project includes the development of a second-story addition to an existing single-family residence on a developed lot within an existing neighborhood. The proposed project includes 751 sq. ft. of new gross living floor area consisting of a new bedroom, bathroom, family room, and balcony space. The existing shared driveway will remain unchanged. Therefore, the proposed project does not include any modifications to the existing roadway or pedestrian facilities that could create hazardous or inconvenient traffic patterns for vehicles or pedestrians.

- ii. *Required Finding: That the accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will create a hazardous or inconvenient condition to adjacent or surrounding uses.*

Discussion: The proposed project does not include any modifications to the existing roadway that could affect existing off-street parking and parking areas that could create a hazardous or inconvenient condition to adjacent or surrounding uses. The project would remove a side entry near the front-left (west) side of the existing single-family residence and relocate the existing fence parallel to the driveway near the front of the project site. Both modifications would create easier access into the existing off-street parking areas.

- iii. *Required Finding: That insufficient landscaped areas have been reserved for the purposes of separating or screening service and storage areas from the street and adjoining building sites, breaking up large expanses of paved areas, and separating or screening parking lots from the street and adjoining building areas from paved areas to provide access from buildings to open areas.*

Discussion: The proposed project would nearly quadruple the amount of on-site landscaping, and would eliminate a nonconformity with the Zoning Regulations. The proposed landscaping meets the minimum 20 percent amount of landscaping required by the Zoning Regulations for the R-3 zoning district. The proposed project includes two main landscaped areas, one in the front and rear of the residence, totaling 451 sq. ft., or 20 percent. This allows for appropriate screening between adjacent structures. The front fence and landscaped areas will separate and screen the parking area from the street and adjoining building sites. Therefore, sufficient landscaped areas have been reserved for the purposes of separating or screening parking lots from the street.

- iv. Required Finding: *That the proposed development, as set forth on the plans, will unreasonably restrict or cut out light and air on the property and on other property in the neighborhood, or will hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof.*

Discussion: The proposed Project will result in the addition of a second story to an existing single-family residential unit within an existing developed coastal area. The proposed Project will be largely compatible with other structures greater than one story in the vicinity.

The existing side setbacks will remain the same and a setback of over 20 feet will remain from the rear property line as well as a setback of 15 feet from the front property line. The closest structure on any other site would be the City Hall annex building, located approximately seven feet to the east. The annex building has no windows on its west elevation and would not be affected by the proposed project. The area north of the project site is an undeveloped yard area associated with a single-family residence at 142 Santa Maria Avenue.

The proposed setbacks and distances from other structures on adjacent sites would result in a project that does not unreasonably restrict or cut out light and air on the property and other properties in the neighborhood. Furthermore, the project will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, since the proposed project is a use consistent with the neighborhood and will be constructed at a scale consistent with existing development patterns in the neighborhood.

- v. Required Finding: *That the improvement of any commercial or industrial structure, as shown on the elevations as submitted, is substantially detrimental to the character or value of an adjacent R District area.*

Discussion: The proposed project includes the addition of a second-story to an existing single-story, single-family residence and does not include any commercial or industrial uses. Therefore, this finding is not applicable to the subject project.

- vi. Required Finding: *That the proposed development will excessively damage or destroy natural features, including trees, shrubs, creeks, and rocks, and the natural grade of the site, except as provided in the subdivision regulations as set forth in Chapter 1 of Title 10 of this*

Code.

Discussion: The project site does not include any natural features, including trees, shrubs, creeks, rocks, or prominent natural slopes; therefore, the proposed development will not excessively damage or destroy any natural features existing on site.

- vii. Required Finding: *That there is insufficient variety in the design of the structure and grounds to avoid monotony in the external appearance.*

Discussion: The proposed project will incorporate variety in the type of materials and roof lines while maintaining a cohesive style that will be compatible with the mixed development in the West Sharp Park neighborhood. The applicant is proposing a combination/hip roof line with a mixture of horizontal hardieplank siding and hardieplank shingle exterior materials. Therefore, the Project will result in sufficient variety in the design of the structure and grounds to avoid monotony in the external appearance.

- viii. Required Finding: *That the proposed development is inconsistent with the City's adopted Design Guidelines.*

Discussion: The City has adopted Design Guidelines which are intended to accomplish the following purposes:

- *Ensure at least a minimum standard of design through the application of consistent policies.*
- *Encourage new construction which exceeds minimum standards and discourage construction which falls short of those standards.*
- *Provide a framework for review and evaluation of design proposals.*
- *Implement applicable General Plan and Local Coastal Plan goals and policies.*
- *Expedite and facilitate the planning permit process.*
- *Provide direction for design and redesign of projects.*

The Design Guidelines are advisory in nature and, unlike zoning, do not contain explicit standards for determining strict compliance. Rather, the guidelines address significant elements of project design that, when balanced overall, result in the best possible site layout and building architecture for a project. An applicant may propose a project which complies with some but not all guidelines and the Zoning Administrator may still find the project consistent with the Design Guidelines. It is up to the Administrator's discretion to determine the appropriate balance and relative priority of the guidelines for a particular project when considering whether a project has achieved Design Guidelines consistency.

Staff's assessment of the Project is that the proposed improvements at the site are consistent with the City's adopted Design Guidelines. Major areas of project consistency with the Design Guidelines include the following (Design Guidelines guidance followed by staff discussion):

Site Planning

1. Site Improvements. Locate site improvements such as buildings, parking areas, and walkways to take advantage of desirable site features. For example, existing healthy trees and distinctive berms or rock outcroppings should be incorporated into site design. Buildings should be oriented to capitalize on views of hills and ocean.

Discussion: The Project site is situated on a small, narrow lot among other existing lots developed with single- and multi-family residential uses. The property is flat and does not have any existing trees or rock outcroppings to consider in the site design. The site is oriented north-south and so has no direct view or orientation to the ocean. However, the Project includes a second story balcony and an extensive amount of windows on the west elevation, which may allow views of Mori Point to the south and potential limited views toward the ocean to the west.

2. Lighting. Exterior lighting should be subdued, and should enhance building design as well as provide for safety and security. Lighting which creates glare for occupants or neighbors should not be used. In general, large areas should be illuminated with a few low shielded fixtures. Tall fixtures which illuminate large areas should be avoided.

Discussion: The Applicant has not proposed centralized, tall light fixtures. Exterior lighting at the Project site will be down-facing and will not adversely affect adjacent properties.

Building Design

3. Scale. An important aspect of design compatibility is scale. Scale is the measure of the relationship of the relative overall size of one structure with one or more other structures. Scale is also used to refer to a group of buildings, a neighborhood, or an entire city. A development can be "out of scale" with its surroundings due to its relative height, bulk, mass, or density.

A structure which is out of scale with its site and neighborhood threatens the integrity of the overall streetscape, and residential projects, particularly single-family dwellings, which are much larger than neighboring structures are therefore discouraged. The City's height limitation is a maximum only, and the maximum height may often be inappropriate when considered in the context of surrounding development and topography. The "carrying capacity" of a given site is also an important factor in determining appropriate scale and lot coverage. As with the height limitation, the City's lot coverage limitation is a maximum only.

Discussion: The Project, as proposed, would be out of scale with nearby developments. It would be approximately 24 percent taller than the approved addition to the single-family residence immediately adjacent to the west at 147 Salada Avenue. To resolve this issue, staff has proposed a condition of approval to require a reduction in the height of the proposed structure to 28'-6". The reduction would result in a building height within approximately 15 percent of the height of the approved addition at 147 Salada Avenue. Given a maximum height of 28'-6" and the location of the site being located at the end of the street with its orientation to the City Hall annex building, staff believes that the

proposed Project will be consistent with the scale of the neighborhood. The condition of approval proposed by staff would also ensure a minimum roof pitch of 6:12 to avoid a flat roof design, which is discouraged by the Design Guidelines, and to achieve consistency with most of the roof pitches existing in the vicinity of the project. Lastly, the condition of approval would require the dormer height to be reduced to be subordinate to the overall roof height.

4. Materials. Compatibility of materials is an essential ingredient in design quality. In areas with either historic or architecturally significant structures, the use of similar exterior construction materials should be used in new construction in order to maintain neighborhood character. Consistency and congruity of materials and design elements on individual structures is also important.

Discussion: The Project includes a mix of materials consistent with the surrounding neighborhood. Exterior materials include lap siding, shingles, and wood trim that will match with the existing color scheme with some minor changes. The siding will be paired with natural wood trims and accents that will be consistent with neighboring properties.

5. Consistency. There should be architectural consistency among all building elevations. All elevations need not be identical, but a sense of overall design continuity must occur. Window treatment and trim, for example, should be carried out around the entire building, not just on the most visible sides.

Discussion: The proposed Project architectural style is consistent with the surrounding neighborhood, including the proposed building materials to be used. The architectural style and design features will be carried through on all proposed building elevations. Outdoor spaces on every level provide multiple areas for indoor/outdoor living, which provides opportunities for visual and social engagement between inhabitants, neighbors, and passersby. The use of a combination/hip style roof and building components such as a balcony and a front porch serve to add visual interest and texture. The combination of siding, shingles, windows, doors and balconies, and wood railings create an openness, lightness and transparency to the Project.

- ix. Required Finding: *That the proposed development is inconsistent with the General Plan, Local Coastal Plan, or other applicable laws of the City.*

Discussion: The proposed Project will be consistent with the City of Pacifica's General Plan, Local Coastal Plan, and other applicable laws of the City, as described in the following analysis:

The property is located within the High Density Residential (HDR) designation of the General Plan Land Use Element and within the R-3 (Multiple-Family Residential) zoning district, both of which are intended for high-density residential development. The HDR land use designation permits residential development at an average density of 16 to 21 units per acre. The site, with its 2,250 sq. ft. lot size, is developed at a density of approximately 19 units per acre, consistent with the HDR land use designation. Furthermore, the proposed

project is consistent with General Plan policies, including the following:

- Community Design Element, Policy No. 2: *Encourage the upgrading and maintenance of existing neighborhoods.*

The Project site consists of an existing single-family residence within an existing developed coastal area. The Project will result in the development of a high quality, two-story residential home thus significantly improving the appearance of the site. Because the Project will upgrade the aesthetic condition of the existing site, there is substantial evidence in the record to support this finding.

The City's certified Local Coastal Program includes a Local Coastal Land Use Plan (LCLUP) that contains policies to further the City's coastal planning activities. The proposed Project is consistent with several of these policies, as discussed below.

- Coastal Act Policy No. 2: *Development shall not interfere with the public's right of access to the sea where acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rock coastal beaches to the first line of terrestrial vegetation.*

The proposed Project will not interfere with the public's right of access to the sea. The proposed Project is located two blocks east of the shoreline and will not affect the existing public promenades that provide coastal access; therefore, the Project will not impact or otherwise interfere with the public's right of access to the sea.

- Coastal Act Policy No. 18: *Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas. Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas.*

The Project will not occur on or adjacent to an environmentally sensitive habitat area. The development site is an existing developed lot surrounded by a substantially developed subdivision, and has no value as habitat. Therefore, the Project is consistent with this LCP policy.

- Coastal Act Policy No. 23: *New development, except as otherwise provided in this policy, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources...* [the remainder of this policy pertains to major land divisions other than condominiums and to visitor-serving facilities, neither of which are part of the subject project.]

The new development proposed with this Project is located within an existing

developed area on an existing developed site. The surrounding neighborhood is a substantially developed suburban neighborhood with subdivided lots, most of which have already been developed with residential units. Therefore, development will not occur outside of existing developed areas.

B. Coastal Development Permit CDP-422-20

In order to approve Coastal Development Permit CDP-422-20, the Zoning Administrator must make the two findings required by PMC Section 9-4.4304(k). The following discussion supports the Administrator's findings in this regard.

- i. Required Finding: *The proposed development is in conformity with the City's certified Local Coastal Program.*

Discussion: The proposed Project is consistent with several of the City's certified Local Coastal Program policies, specifically Coastal Act Policies No. 2, 18, and 23 as more fully described above in the findings related to approval of a Site Development Permit in section A.ix.

- ii. Required Finding: *Where the Coastal Development Permit is issued for any development between the nearest public road and the shoreline, the development is in conformity with the public recreation policies of Chapter 3 of the California Coastal Act.*

Discussion: The Project site is not located between the nearest public road (Beach Boulevard) and the shoreline; therefore, this Coastal Development Permit finding does not apply in this case.

C. Use Permit UP-123-20

In order to approve Use Permit UP-123-20, the Zoning Administrator must make the three findings required by PMC Section 9-4.3303(a). The following discussion supports the Administrator's findings in this regard.

- i. Required Finding: *That the establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, and welfare of the persons residing or working in the neighborhood or to the general welfare of the City.*

Discussion: The existing use of the site is a conditionally permitted use pursuant to PMC Section 9-4.601(b)(1). However, the City does not have any record of an approved Use Permit, which would permit the single-family dwelling use on a R-3 zoned lot. Though the lot would remain nonconforming due to size and width requirements, the Use Permit would bring the use of the property into compliance with the City's code. The development would occur on a lot that already has access to public utilities, including but not limited to water, sewer, and electricity. The addition would not generate any additional traffic. The Project's architectural design is appealing, would feature an appropriate mix of materials and

appropriate scale for the neighborhood, and would not adversely affect any surrounding properties.

However, off-street parking facilities provided on the project site could have the potential to adversely impact public health, safety, or welfare. As noted above, the project site does not conform with off-street parking standards in Article 28 of the Zoning Regulations (the site should have a two-car garage). The lack of a two-car garage does not present a zoning compliance issue with respect to the proposed project because it has not included an increase in the number of bedrooms. Yet, the area labeled on Sheet A2.1 of the project plans as "(N) OFFICE/STUDY," located at the rear of the first floor of the Project site, meets all reasonable criteria to be considered a bedroom. Because PMC Section 9-4.3002(c)(2)(vi) would otherwise require construction of additional covered off-street parking spaces if this space were identified as a bedroom instead of an office/study, and because the project does not include construction of any covered off-street parking spaces, it is important to prevent this area from functioning as a bedroom in order to maintain zoning compliance. Therefore, staff recommends a condition of approval which would prohibit the Applicant from installing a door or other method of enclosure of the area labeled as (N) OFFICE/STUDY room.

As conditioned based on the discussion in this subsection, the Project would not have a detrimental impact on the health, safety, or welfare of the persons residing or working in the neighborhood.

- ii. Required Finding: *That the use or building applied for is consistent with the applicable provisions of the General Plan and other applicable laws of the City and, where applicable, the local Coastal Plan; and*

Discussion: As described in Section A.ix of this report, the project would be consistent with the General Plan, in particular policies contained in the Community Design element. It would also comply with applicable laws of the City including those contained in the Zoning Regulations (Chapter 4 of Title 9 of the PMC), in particular the development standards and conditional uses of the R-3 (Multiple-Family Residential) district. The Project would also comply with Coastal Act Policy Nos. 2, 18, and 23 of the LCLUP.

- iii. Required Finding: *Where applicable, that the use or building applied for is consistent with the City's adopted Design Guidelines.*

Discussion: As described in further detail above, the Project, as conditioned would be consistent with the City's adopted Design Guidelines. In particular, the Project would be consistent with guidelines related to Site Planning and Building Design.

5. CEQA Recommendation

Staff analysis of the proposed project supports a Zoning Administrator finding that it qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). The Project qualifies as a Class 1 exemption under CEQA Guidelines Section 15301, as described below:

15301. Existing Facilities

Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized below are not intended to be all inclusive of the types of projects which might fall within Class 1. The key consideration is whether the project involves negligible or no expansion of an existing use. Examples include but are not limited to:

* * * * *

(e) Additions to existing structures provided that the addition would not result in an increase of more than:

* * * * *

(2) 10,000 square feet if:

(A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and

(B) The area in which the project is located is not environmentally sensitive.

* * * * *

In this case, the Project involves an addition that is less than 10,000 square feet and is in an area where all public services and facilities are available to allow for maximum development and is not located in an environmentally sensitive area. Therefore, the Project is exempt from further analysis under CEQA.

Additionally, none of the exceptions to application of a categorical exemption in Section 15300.2 of the CEQA Guidelines apply, as described below.

- Sec. 15300.2(a): There is no evidence in the record that the Project will impact an environmental resource of hazardous or critical concern in an area designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies. The Project site is located within a substantially developed residential neighborhood and is not located in a sensitive environmental area. Therefore, it will not have a significant impact on the environment.
- Sec. 15300.2(b): There is no evidence in the record that successive projects of the same type in the area will have a significant environmental impact. The Project is a small residential addition within a substantially developed residential neighborhood and will not have a significant impact on the environment either alone or cumulatively with other projects in the vicinity.
- Sec. 15300.2(c): There is no evidence in the record of any possibility that the Project will have a

significant effect on the environment due to unusual circumstances. The Project site is a vacant lot with very flat topography and no habitat value. It is zoned for residential development and the Project will involve residential development consistent with the residential zoning. Therefore, there are no unusual circumstances applicable to the Project.

- Sec. 15300.2(d) through (f): The Project is not proposed near a scenic highway, does not involve a current or former hazardous waste site, and, does not affect any historical resources. Therefore, the provisions of subsections (d) through (f) are not applicable to this project.

Because the project is consistent with the requirements for a Class 1 exemption and none of the exceptions to applying an exemption in Section 15300.2 apply, there is substantial evidence in the record to support a finding that the Project is categorically exempt from CEQA.

6. Staff Analysis

In staff's opinion, as conditioned, the Project is consistent with the General Plan, Local Coastal Plan, and the City's adopted Design Guidelines. The Project is consistent with General Plan density standards and the uses permitted in the zoning standards. The Project will also comply with all zoning development standards. Thus, staff recommends that the Zoning Administrator approve the proposed Project subject to the conditions attached.

ZONING ADMINISTRATOR ACTION

MOTION FOR APPROVAL:

Move that the Zoning Administrator **FINDS** the Project is exempt from the California Environmental Quality Act; **APPROVES** Site Development Permit PSD-850-20, Coastal Development Permit CDP-422-20, and Use Permit UP-123-20 by adopting the attached resolution, including conditions of approval in Exhibit A; and, incorporates all maps and testimony into the record by reference.

ATTACHMENT LIST:

Attachment A - Draft Resolution and COAs (DOCX)
Attachment B - Land Use (PDF)
Attachment C - Project Plans (PDF)

RESOLUTION NO. _____

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF PACIFICA APPROVING SITE DEVELOPMENT PERMIT PSD-850-20, COASTAL DEVELOPMENT PERMIT CDP-422-20, AND USE PERMIT UP-123-20 FOR CONSTRUCTION OF A SECOND STORY ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE ON A NONCONFORMING LOT AT 155 SALADA AVENUE (APN 016-042-120), AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

Initiated by: Michael and Cathy Ginter (“Applicant”).

WHEREAS, an application has been submitted to construct a 704-square foot (sq. ft.) second story addition to a single-family residence on a nonconforming lot at 155 Salada Avenue (APN 016-042-120) (the “Project”); and

WHEREAS, the Project requires approval of a Site Development Permit because the Project involves i) an addition which increases an existing structure’s gross square footage by 50 percent or more within the R-3 zone [Sec. 9-4.3201(a)]; and, ii) an alteration to a building on an existing nonconforming lot in excess of 25 percent of the existing floor area [PMC Sec. 9-4.3002(a)(7)(ii)]; and

WHEREAS, the Project requires approval of a Coastal Development Permit because the Project will propose development within the Coastal Zone; and, the Project does not qualify for any exemptions or exclusions from obtaining a permit; and

WHEREAS, the Project requires approval of a Use Permit because the Project involves development to a single-family dwelling, which is an existing nonconforming use in the R-3 zoning district pursuant to PMC Section 9-4.601(b)(1); and

WHEREAS, the Zoning Administrator of the City of Pacifica did hold a duly noticed public hearing on July 8, 2020, at which time it considered all oral and documentary evidence presented, and incorporated all testimony and documents into the record by reference.

NOW, THEREFORE BE IT RESOLVED by the Zoning Administrator of the City of Pacifica as follows:

1. The above recitals are true and correct and material to this Resolution.
2. In making its findings, the Zoning Administrator relied upon and hereby incorporates by reference all correspondence, staff reports, and other related materials.
3. The Project is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines 15301 and therefore directs staff to file a Notice of Exemption for the Project.

BE IT FURTHER RESOLVED that the Zoning Administrator of the City of Pacifica does hereby make the finding that the Project qualifies for a Class 1 exemption under CEQA. CEQA Guidelines Section 15301, as described below, applies to the Project:

1. That the Project is exempt from the CEQA as a Class 1 exemption provided in Section 15301 of the CEQA Guidelines.

15301. Existing Facilities

Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized below are not intended to be all inclusive of the types of projects which might fall within Class 1. The key consideration is whether the Project involves negligible or no expansion of an existing use. Examples include but are not limited to:

* * * * *

- (e) Additions to existing structures provided that the addition would not result in an increase of more than:

* * * * *

- (2) 10,000 square feet if:

- (A) The Project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and

- (B) The area in which the Project is located is not environmentally sensitive.

* * * * *

In this case, the Project involves an addition that is less than 10,000 square feet and is in an area where all public services and facilities are available to allow for maximum development and is not located in an environmentally sensitive area. Therefore, the Project is exempt from further analysis under CEQA.

Additionally, none of the exceptions to application of a categorical exemption in Section 15300.2 of the CEQA Guidelines apply, as described below.

- Sec. 15300.2(a): There is no evidence in the record that the Project will impact an environmental resource of hazardous or critical concern in an area designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies. The Project site is located within a substantially developed residential neighborhood and is not located in a sensitive environmental area. Therefore, it will not have a significant impact on the environment.
- Sec. 15300.2(b): There is no evidence in the record that successive projects of the same type in the area will have a significant environmental impact. The Project is a small residential addition within a substantially developed residential neighborhood and will not have a significant impact on the environment either alone or cumulatively with other projects in the vicinity.

- Sec. 15300.2(c): There is no evidence in the record of any possibility that the Project will have a significant effect on the environment due to unusual circumstances. The Project site is a vacant lot with very flat topography and no habitat value. It is zoned for residential development and the Project will involve residential development consistent with the residential zoning. Therefore, there are no unusual circumstances applicable to the Project.
- Sec. 15300.2(d) through (f): The Project is not proposed near a scenic highway, does not involve a current or former hazardous waste site, and, does not affect any historical resources. Therefore, the provisions of subsections (d) through (f) are not applicable to this Project.

Because the Project is consistent with the requirements for a Class 1 exemption and none of the exceptions to applying an exemption in Section 15300.2 apply; therefore, there is substantial evidence in the record to support a finding that the Project is categorically exempt from CEQA.

BE IT FURTHER RESOLVED that the Zoning Administrator of the City of Pacifica does hereby make the following findings pertaining to Site Development Permit PSD-850-20 for i) an addition which increases an existing structure's gross square footage by 50 percent or more within the R-3 zone [Sec. 9-4.3201(a)]; and, ii) an alteration to a building on an existing nonconforming lot in excess of 25 percent of the existing floor area [PMC Sec. 9-4.3002(a)(7)(ii)]:

1. The proposed development is in conformity with Section 9-4.3.204(a) of the City of Pacifica's Municipal Code.

- i. Required Finding: *That the location, size, and intensity of the proposed operation will create a hazardous or inconvenient vehicular or pedestrian traffic pattern, taking into account the proposed use as compared with the general character and intensity of the neighborhood.*

Discussion: The proposed Project includes the development of a second-story addition to an existing single-family residence on a developed lot within an existing neighborhood. The proposed project includes 751 sq. ft. of new gross living floor area consisting of a new bedroom, bathroom, family room, and balcony space. The existing shared driveway will remain unchanged. Therefore, the proposed project does not include any modifications to the existing roadway or pedestrian facilities that could create hazardous or inconvenient traffic patterns for vehicles or pedestrians.

- ii. Required Finding: *That the accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will create a hazardous or inconvenient condition to adjacent or surrounding uses.*

Discussion: The proposed project does not include any modifications to the existing roadway that could affect existing off-street parking and parking areas that could create a hazardous or inconvenient condition to adjacent or surrounding uses. The project would remove a side entry near the front-left (west) side of the existing single-family residence and relocate the existing fence parallel to the driveway near the front of the project site. Both modifications would create easier access into the existing off-street parking areas.

- iii. Required Finding: *That insufficient landscaped areas have been reserved for the purposes of separating or screening service and storage areas from the street and adjoining building sites, breaking up large expanses of paved areas, and separating or screening parking lots from the street and adjoining building areas from paved areas to provide access from buildings to open areas.*

Discussion: The proposed project would nearly quadruple the amount of on-site landscaping, and would eliminate a nonconformity with the Zoning Regulations. The proposed landscaping meets the minimum 20 percent amount of landscaping required by the Zoning Regulations for the R-3 zoning district. The proposed project includes two main landscaped areas, one in the front and rear of the residence, totaling 451 sq. ft., or 20 percent. This allows for appropriate screening between adjacent structures. The front fence and landscaped areas will separate and screen the parking area from the street and adjoining building sites. Therefore, sufficient landscaped areas have been reserved for the purposes of separating or screening parking lots from the street.

- iv. Required Finding: *That the proposed development, as set forth on the plans, will unreasonably restrict or cut out light and air on the property and on other property in the neighborhood, or will hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof.*

Discussion: The proposed Project will result in the addition of a second story to an existing single-family residential unit within an existing developed coastal area. The proposed Project will be largely compatible with other structures greater than one story in the vicinity.

The existing side setbacks will remain the same and a setback of over 20 feet will remain from the rear property line as well as a setback of 15 feet from the front property line. The closest structure on any other site would be the City Hall annex building, located approximately seven feet to the east. The annex building has no windows on its west elevation and would not be affected by the proposed project. The area north of the project site is an undeveloped yard area associated with a single-family residence at 142 Santa Maria Avenue.

The proposed setbacks and distances from other structures on adjacent sites would result in a project that does not unreasonably restrict or cut out light and air on the property and other properties in the neighborhood. Furthermore, the project will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, since the proposed project is a use consistent with the neighborhood and will be constructed at a scale consistent with existing development patterns in the neighborhood.

- v. Required Finding: *That the improvement of any commercial or industrial structure, as shown on the elevations as submitted, is substantially detrimental to the character or value of an adjacent R District area.*

Discussion: The proposed project includes the addition of a second-story to an existing single-story, single-family residence and does not include any commercial or industrial uses. Therefore, this finding is not applicable to the subject project.

- vi. Required Finding: *That the proposed development will excessively damage or destroy natural features, including trees, shrubs, creeks, and rocks, and the natural grade of the site, except as provided in the subdivision regulations as set forth in Chapter 1 of Title 10 of this Code.*

Discussion: The project site does not include any natural features, including trees, shrubs, creeks, rocks, or prominent natural slopes; therefore, the proposed development will not excessively damage or destroy any natural features existing on site.

- vii. Required Finding: *That there is insufficient variety in the design of the structure and grounds to avoid monotony in the external appearance.*

Discussion: The proposed project will incorporate variety in the type of materials and roof lines while maintaining a cohesive style that will be compatible with the mixed development in the West Sharp Park neighborhood. The applicant is proposing a combination/hip roof line with a mixture of horizontal hardieplank siding and hardieplank shingle exterior materials. Therefore, the Project will result in sufficient variety in the design of the structure and grounds to avoid monotony in the external appearance.

- viii. Required Finding: *That the proposed development is inconsistent with the City's adopted Design Guidelines.*

Discussion: The City has adopted Design Guidelines which are intended to accomplish the following purposes:

- Ensure at least a minimum standard of design through the application of consistent policies.
- Encourage new construction which exceeds minimum standards and discourage construction which falls short of those standards.
- Provide a framework for review and evaluation of design proposals.
- Implement applicable General Plan and Local Coastal Plan goals and policies.
- Expedite and facilitate the planning permit process.
- Provide direction for design and redesign of projects.

The Design Guidelines are advisory in nature and, unlike zoning, do not contain explicit standards for determining strict compliance. Rather, the guidelines address significant elements of project design that, when balanced overall, result in the best possible site layout and building architecture for a project. An applicant may propose a project which complies with some but not all guidelines and the Zoning Administrator may still find the

project consistent with the Design Guidelines. It is up to the Administrator's discretion to determine the appropriate balance and relative priority of the guidelines for a particular project when considering whether a project has achieved Design Guidelines consistency.

Staff's assessment of the Project is that the proposed improvements at the site are consistent with the City's adopted Design Guidelines. Major areas of project consistency with the Design Guidelines include the following (Design Guidelines guidance followed by staff discussion):

Site Planning

1. Site Improvements. Locate site improvements such as buildings, parking areas, and walkways to take advantage of desirable site features. For example, existing healthy trees and distinctive berms or rock outcroppings should be incorporated into site design. Buildings should be oriented to capitalize on views of hills and ocean.

Discussion: The Project site is situated on a small, narrow lot among other existing lots developed with single- and multi-family residential uses. The property is flat and does not have any existing trees or rock outcroppings to consider in the site design. The site is oriented north-south and so has no direct view or orientation to the ocean. However, the Project includes a second story balcony and an extensive amount of windows on the west elevation, which may allow views of Mori Point to the south and potential limited views toward the ocean to the west.

2. Lighting. Exterior lighting should be subdued, and should enhance building design as well as provide for safety and security. Lighting which creates glare for occupants or neighbors should not be used. In general, large areas should be illuminated with a few low shielded fixtures. Tall fixtures which illuminate large areas should be avoided.

Discussion: The Applicant has not proposed centralized, tall light fixtures. Exterior lighting at the Project site will be down-facing and will not adversely affect adjacent properties.

Building Design

3. Scale. An important aspect of design compatibility is scale. Scale is the measure of the relationship of the relative overall size of one structure with one or more other structures. Scale is also used to refer to a group of buildings, a neighborhood, or an entire city. A development can be "out of scale" with its surroundings due to its relative height, bulk, mass, or density.

A structure which is out of scale with its site and neighborhood threatens the integrity of the overall streetscape, and residential projects, particularly single-family dwellings, which are much larger than neighboring structures are therefore discouraged. The City's height limitation is a maximum only, and the maximum height may often be inappropriate when considered in the context of

surrounding development and topography. The “carrying capacity” of a given site is also an important factor in determining appropriate scale and lot coverage. As with the height limitation, the City’s lot coverage limitation is a maximum only.

Discussion: The Project, as proposed, would be out of scale with nearby developments. It would be approximately 24 percent taller than the approved addition to the single-family residence immediately adjacent to the west at 147 Salada Avenue. To resolve this issue, staff has proposed a condition of approval to require a reduction in the height of the proposed structure to 28’-6”. The reduction would result in a building height within approximately 15 percent of the height of the approved addition at 147 Salada Avenue. Given a maximum height of 28’-6” and the location of the site being located at the end of the street with its orientation to the City Hall annex building, staff believes that the proposed Project will be consistent with the scale of the neighborhood. The condition of approval proposed by staff would also ensure a minimum roof pitch of 6:12 to avoid a flat roof design, which is discouraged by the Design Guidelines, and to achieve consistency with most of the roof pitches existing in the vicinity of the project. Lastly, the condition of approval would require the dormer height to be reduced to be subordinate to the overall roof height.

4. Materials. Compatibility of materials is an essential ingredient in design quality. In areas with either historic or architecturally significant structures, the use of similar exterior construction materials should be used in new construction in order to maintain neighborhood character. Consistency and congruity of materials and design elements on individual structures is also important.

Discussion: The Project includes a mix of materials consistent with the surrounding neighborhood. Exterior materials include lap siding, shingles, and wood trim that will match with the existing color scheme with some minor changes. The siding will be paired with natural wood trims and accents that will be consistent with neighboring properties.

5. Consistency. There should be architectural consistency among all building elevations. All elevations need not be identical, but a sense of overall design continuity must occur. Window treatment and trim, for example, should be carried out around the entire building, not just on the most visible sides.

Discussion: The proposed Project architectural style is consistent with the surrounding neighborhood, including the proposed building materials to be used. The architectural style and design features will be carried through on all proposed building elevations. Outdoor spaces on every level provide multiple areas for indoor/outdoor living, which provides opportunities for visual and social engagement between inhabitants, neighbors, and passersby. The use of a combination/hip style roof and building components such as a balcony and a front porch serve to add visual interest and texture. The combination of siding, shingles, windows, doors and balconies, and wood railings create an openness, lightness and transparency to the Project.

- ix. Required Finding: *That the proposed development is inconsistent with the General Plan, Local Coastal Plan, or other applicable laws of the City.*

Discussion: The proposed Project will be consistent with the City of Pacifica's General Plan, Local Coastal Plan, and other applicable laws of the City, as described in the following analysis:

The property is located within the High Density Residential (HDR) designation of the General Plan Land Use Element and within the R-3 (Multiple-Family Residential) zoning district, both of which are intended for high-density residential development. The HDR land use designation permits residential development at an average density of 16 to 21 units per acre. The site, with its 2,250 sq. ft. lot size, is developed at a density of approximately 19 units per acre, consistent with the HDR land use designation. Furthermore, the proposed project is consistent with General Plan policies, including the following:

- Community Design Element, Policy No. 2: *Encourage the upgrading and maintenance of existing neighborhoods.*

The Project site consists of an existing single-family residence within an existing developed coastal area. The Project will result in the development of a high quality, two-story residential home thus significantly improving the appearance of the site. Because the Project will upgrade the aesthetic condition of the existing site, there is substantial evidence in the record to support this finding.

The City's certified Local Coastal Program includes a Local Coastal Land Use Plan (LCLUP) that contains policies to further the City's coastal planning activities. The proposed Project is consistent with several of these policies, as discussed below.

- Coastal Act Policy No. 2: *Development shall not interfere with the public's right of access to the sea where acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rock coastal beaches to the first line of terrestrial vegetation.*

The proposed Project will not interfere with the public's right of access to the sea. The proposed Project is located two blocks east of the shoreline and will not affect the existing public promenades that provide coastal access; therefore, the Project will not impact or otherwise interfere with the public's right of access to the sea.

- Coastal Act Policy No. 18: *Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas. Development in areas adjacent to environmentally sensitive habitat areas and parks and recreation areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas.*

The Project will not occur on or adjacent to an environmentally sensitive habitat area. The development site is an existing developed lot surrounded by a substantially

developed subdivision, and has no value as habitat. Therefore, the Project is consistent with this LCP policy.

- Coastal Act Policy No. 23: *New development, except as otherwise provided in this policy, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources... [the remainder of this policy pertains to major land divisions other than condominiums and to visitor-serving facilities, neither of which are part of the subject Project.]*

The new development proposed with this Project is located within an existing developed area on an existing developed site. The surrounding neighborhood is a substantially developed suburban neighborhood with subdivided lots, most of which have already been developed with residential units. Therefore, development will not occur outside of existing developed areas.

Because the proposed Project will be located in an existing area substantially developed with residential units, substantial evidence exists to support a Zoning Administrator finding that the proposed development is in conformity with the City's certified Local Coastal Program.

BE IT FURTHER RESOLVED that the Zoning Administrator of the City of Pacifica does hereby make the following findings pertaining to Coastal Development Permit CDP-422-20 for development within the Coastal Zone:

- i. Required Finding: *The proposed development is in conformity with the City's certified Local Coastal Program.*

Discussion: The proposed Project is consistent with several of the City's certified Local Coastal Program policies, specifically Coastal Act Policies No. 2, 18, and 23 as more fully described above in the findings related to approval of a Site Development Permit in section A.ix of the Staff Report.

- ii. Required Finding: *Where the Coastal Development Permit is issued for any development between the nearest public road and the shoreline, the development is in conformity with the public recreation policies of Chapter 3 of the California Coastal Act.*

Discussion: The Project site is not located between the nearest public road (Beach Boulevard) and the shoreline; therefore, this Coastal Development Permit finding does not apply in this case.

BE IT FURTHER RESOLVED that the Zoning Administrator of the City of Pacifica does hereby make the following findings pertaining to Use Permit UP-123-20 for development of a single-family dwelling within the R-3 zoning district:

- i. Required Finding: *That the establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, and welfare of the persons residing or working in the neighborhood or to the general welfare of the City.*

Discussion: The existing use of the site is a conditionally permitted use pursuant to PMC Section 9-4.601(b)(1). However, the City does not have any record of an approved Use Permit, which would permit the single-family dwelling use on a R-3 zoned lot. Though the lot would remain nonconforming due to size and width requirements, the Use Permit would bring the use of the property into compliance with the City's code. The development would occur on a lot that already has access to public utilities, including but not limited to water, sewer, and electricity. The addition would not generate any additional traffic. The Project's architectural design is appealing, would feature an appropriate mix of materials and appropriate scale for the neighborhood, and would not adversely affect any surrounding properties.

However, off-street parking facilities provided on the project site could have the potential to adversely impact public health, safety, or welfare. As noted above, the project site does not conform with off-street parking standards in Article 28 of the Zoning Regulations (the site should have a two-car garage). The lack of a two-car garage does not present a zoning compliance issue with respect to the proposed project because it has not included an increase in the number of bedrooms. Yet, the area labeled on Sheet A2.1 of the project plans as "(N) OFFICE/STUDY," located at the rear of the first floor of the Project site, meets all reasonable criteria to be considered a bedroom. Because PMC Section 9-4.3002(c)(2)(vi) would otherwise require construction of additional covered off-street parking spaces if this space were identified as a bedroom instead of an office/study, and because the project does not include construction of any covered off-street parking spaces, it is important to prevent this area from functioning as a bedroom in order to maintain zoning compliance. Therefore, staff recommends a condition of approval which would prohibit the Applicant from installing a door or other method of enclosure of the area labeled as (N) OFFICE/STUDY room.

As conditioned based on the discussion in this subsection, the Project would not have a detrimental impact on the health, safety, or welfare of the persons residing or working in the neighborhood.

- ii. Required Finding: *That the use or building applied for is consistent with the applicable provisions of the General Plan and other applicable laws of the City and, where applicable, the local Coastal Plan; and*

Discussion: As described in Section A.ix of the Staff Report, the Project would be consistent with the General Plan, in particular policies contained in the Community Design element. It would also comply with applicable laws of the City including those contained in the Zoning Regulations (Chapter 4 of Title 9 of the PMC), in particular the development standards and conditional uses of the R-3 (Multiple-Family Residential) district. The Project would also comply with Coastal Act Policy Nos. 2, 18, and 23 of the LCLUP.

- iii. Required Finding: *Where applicable, that the use or building applied for is consistent with the City's adopted Design Guidelines.*

Discussion: As described in further detail above, the Project, as conditioned would be consistent with the City's adopted Design Guidelines. In particular, the Project would be consistent with guidelines related to Site Planning and Building Design.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Zoning Administrator of the City of Pacifica approves Site Development Permit PSD-850-20, Coastal Development Permit CDP-422-20, and Use Permit UP-123-20 for construction of a two-story addition to a single-family residence on a nonconforming lot at 155 Salada Avenue (APN 016-042-120), subject to conditions of approval included as Exhibit A to this resolution.

* * * * *

Passed and adopted at a regular meeting of the Zoning Administrator of the City of Pacifica, California, held on the 8th day of July 2020.

Tina Wehrmeister, Planning Director

Exhibit A

Conditions of Approval: File No. 2020-008 – Site Development Permit PSD-850-20, Coastal Development Permit CDP-422-20, and Use Permit UP-123-20 for construction of a two-story addition to a single-family residence on a nonconforming lot at 155 Salada Avenue (APN 016-042-120)

Zoning Administrator Meeting of July 8, 2020

Planning Division of the Planning Department

1. Development shall be substantially in accord with the plans entitled “Remodel and 2nd Story Addition 155 Salada Avenue, Pacifica, CA,” dated May 29, 2020, and received by the City of Pacifica on May 29, 2020, except as modified by the following conditions.
2. The approval or approvals is/are valid for a period of one year from the date of final determination. If the use or uses approved is/are not established within such period of time, the approval(s) shall expire unless Applicant submits a written request for an extension and applicable fee prior to the expiration date, and the Planning Director approves the extension request as provided below. The Planning Director may administratively grant a single, one year extension provided, in the Planning Director's sole discretion, the circumstances considered during the initial Project approval have not materially changed. Otherwise, the Zoning Administrator shall consider a request for a single, one year extension. In the event of litigation filed to overturn the City's determination on the approval or approvals, the Planning Director may toll the expiration of the approval or approvals during the pendency of such litigation.
3. The approval letter issued by the City and all conditions of approval attached thereto shall be included as plan sheets within all plan sets submitted to the City as part of any building permit application.
4. Prior to issuance of a building permit, Applicant shall clearly indicate compliance with all conditions of approval on the plans and/or provide written explanations to the Planning Director's satisfaction.
5. The area labeled on Sheet A2.1 of the Project plans as “(N) OFFICE/STUDY,” located at the rear of the first floor of the Project site, otherwise meets the criteria to be a bedroom. Because Pacifica Municipal Code (PMC) Section 9-4.3002(c)(2)(vi) would otherwise require construction of additional covered off-street parking spaces when an addition increases the number of bedrooms of an existing building which does not conform to the off-street parking standards in Article 28 of Chapter 4 of Title 9 of the PMC, and because the Project does not include construction of any covered off-street parking spaces, the Applicant shall be prohibited from installing a door or other method of enclosure of the (N) OFFICE/STUDY room.
6. Prior to issuance of a building permit, Applicant shall revise the Project plans to reduce the building height to 28'-6”, while maintaining a minimum roof pitch of 6:12, and revising the dormer to be subordinate to the overall roofline such that the dormer does not exceed two-thirds of the vertical height between the roof eave and the roof ridge, to the satisfaction of the Planning Director.

7. Prior to issuance of a building permit, Applicant shall revise the floor plan to indicate that the access to the attic storage shall be a pull-down style ladder or stairs only, to the satisfaction of the Planning Director. A permanent, fixed ladder or stairway shall not be permitted.
8. Prior to the issuance of a building permit, Applicant shall submit information on exterior finishes, including colors and materials, subject to approval of the Planning Director.
9. Exterior lighting shall include buffering techniques to reduce light and glare impacts to adjacent properties to the satisfaction of the Planning Director.
10. All trash and recycling materials, if stored outdoors, shall be fully contained and screened from public view within an approved enclosure. The enclosure design shall be consistent with the adjacent and/or surrounding building materials, and shall be sufficient in size to contain all trash and recycling materials, as may be recommended by Recology of the Coast. Trash enclosure and dumpster areas shall be covered and protected from roof and surface drainage. Prior to the issuance of a building permit, Applicant shall provide construction details for the enclosure for review and approval by the Planning Director.
11. All transformers, HVAC units, backflow preventers and other ground-mounted utility equipment shall be shown on the landscape and irrigation plans and shall be located out of public view and/or adequately screened through the use or combination of walls or fencing, berming, painting, and/or landscaping, to the satisfaction of the Planning Director.
12. Prior to the issuance of a building permit, Applicant shall submit a roof plan with spot elevations showing the location of all roof equipment including vents, stacks and skylights. All roof equipment shall be screened to the Planning Director's satisfaction.
13. Applicant shall maintain its site in a fashion that does not constitute a public nuisance and that does not violate any provision of the Pacifica Municipal Code.
14. All outstanding and applicable fees associated with the processing of this Project shall be paid prior to the issuance of a building permit.
15. The Applicant shall indemnify, defend and hold harmless the City, its Council, Planning Commission, advisory boards, officers, employees, consultants and agents (hereinafter "City") from any claim, action or proceeding (hereinafter "Proceeding") brought against the City to attack, set aside, void or annul the City's actions regarding any development or land use permit, application, license, denial, approval or authorization, including, but not limited to, variances, use permits, developments plans, specific plans, general plan amendments, zoning amendments, approvals and certifications pursuant to the California Environmental Quality Act, and/or any mitigation monitoring program, or brought against the City due to actions or omissions in any way connected to the Applicant's Project ("Challenge"). City may, but is not obligated to, defend such Challenge as City, in its sole discretion, determines appropriate, all at Applicant's sole cost and expense. This indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and costs of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the Applicant, City, and/or parties initiating or bringing such Proceeding. If the Applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the

City. Per Government Code Section 66474.9, the City shall promptly notify Applicant of any Proceeding and shall cooperate fully in the defense.

Building Division of the Planning Department

16. The Project requires review and approval of a building permit by the Building Official. Applicant shall apply for and receive approval of a building permit prior to commencing any construction activity.
17. All openings between 3 feet and 5 feet of a property line must be fire-rated as required by the 2019 California Residential Code. If any portion of the structure, including trims and walls, are located within 3 feet of the property line, openings will not be permitted.

Engineering Division of Public Works Department

18. Construction shall be in conformance with the City of Pacifica Storm Water Management and Discharge Control Ordinance and the San Mateo Countywide Storm Water Pollution Prevention Program. Best Management Practices shall be implemented, and the construction BMPs plans sheet from the Countywide program shall be included in the Project plans.
19. The following requirements must be clearly noted on the construction plans for the Project:
 - a) Salada Avenue shall be maintained clear of construction materials, equipment, storage, debris, and soil. Dust control and daily road cleanup will be strictly enforced. A properly signed no-parking zone may be established during normal working hours only.
 - b) All recorded survey points, monuments, railroad spikes, pins, cross cuts on top of sidewalks and tags on top of culvert headwalls or end walls whether within private property or public right-of-way shall be protected and preserved. If survey point/s are altered, removed or destroyed, the applicant shall be responsible for obtaining the services of a licensed surveyor or qualified Civil Engineer to restore or replace the survey points and record the required map prior to occupancy of the first unit.
 - c) Existing public improvements within the property frontage that are damaged or displaced shall be repaired or replaced as determined by the City Engineer even if damage or displacement occurred prior to any work performed for this Project. Any damage to improvements within city right-of-way or to any private property, whether adjacent to subject property or not, that is determined by the City Engineer to have resulted from construction activities related to this Project, shall be repaired or replaced as directed by the City Engineer.
20. An Encroachment Permit must be obtained for all work within public right-of-way. All proposed improvements within public right-of-way shall be constructed per City Standards.
21. No private structures, including but not limited to walls or curbs, fences mailboxes, or stairs shall encroach into the public right-of-way.
22. All broken, cracked or uplifted Sidewalk, Curb, Gutter and Driveway Approach ramps across the entire property frontage shall be replaced per City Standards.
23. All new utilities shall be installed underground from the nearest main or joint pole.

North County Fire Authority

24. Illuminated address identification is required and shall be installed prior to final inspection.

Wastewater Department

25. Applicant shall obtain a lateral compliance certificate prior to issuance of a building permit.

END

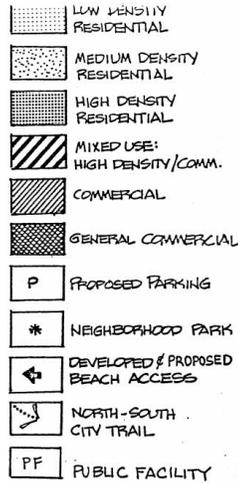
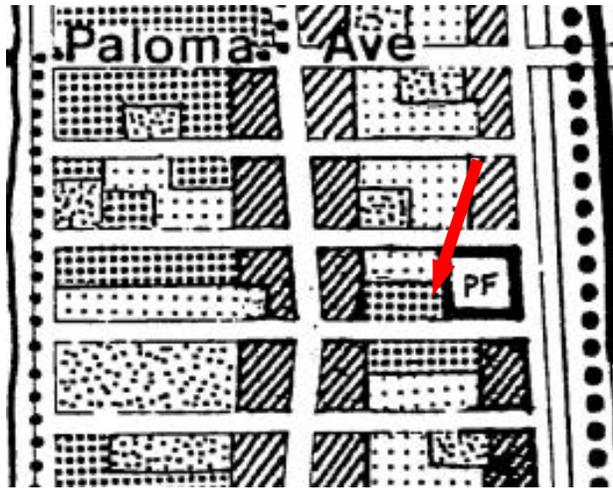
Land Use & Zoning Exhibit

City of Pacifica Planning Department

General Plan Diagram

Neighborhood: Sharp Park

Land Use Designation: High Density Residential



Zoning Map Diagram

Zoning District: R-3, Multi-Family Residential/ C-Z, Coastal Zone Combining District



REMODEL AND 2ND STORY ADDITION 155 SALADA AVENUE, PACIFICA, CA



BRIAN BRINKMAN
DRAFTING & DESIGN, INC.
1690 Francisco Blvd.
Pacifica, CA 94044
(650) 922-7993

ABBREVIATIONS			
@	AT	N	NORTH
#	NUMBER	(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
		NTS	NOT TO SCALE
BLDG	BUILDING	O	OVEN
BLK	BLOCK	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
BOT	BOTTOM		
CAB	CABINET	OFF	OFFICE
CB	CATCH BASIN	OPNG	OPENING
CL	CENTERLINE	OH	OVERHANG
CLG	CEILING	O/H	OVERHEAD
CLST	CLOSET	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	PL	PLATE OR PROPERTY LINE
CO	CLEAN OUT	PLYWD	PLYWOOD
COL	COLUMN	PR	PAIR
CONC	CONCRETE	PT	POINT OR PRESSURE TREATED
CONT	CONTINUOUS		
D	DRYER	R	RADIUS
DBL	DOUBLE	RAG	RETURN AIR GRILLE
DEPT	DEPARTMENT	RD	ROOF DRAIN
DEG	DEGREES	REF	REFRIGERATOR
DIA	DIAMETER	REINF	REINFORCED OR REINFORCEMENT
DIM	DIMENSION		
DN	DOWN	REQ'D	REQUIRED
DR	DOOR	REV	REVISION
DS	DOWNSPOUT	RHB	RADIANT HEATING BOILER
DW	DISHWASHER	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
		ROW	RIGHT-OF-WAY
(E)	EXISTING	S	SOUTH
EA	EACH	SB	SETBACK
ELEC	ELECTRICAL	SCHED	SCHEDULE
ELEV	ELEVATION	SD	SMOKE DETECTOR/STORM DRAIN
ENG	ENGINEER		
EQPT	EQUIPMENT	SF	SQUARE FEET OR SQUARE FOOT
EXT	EXTERIOR	SH	SHOWER HEAD
FAU	FORCED AIR UNIT	SHT	SHEET
FAR	FLOOR AREA RATIO	SHWR	SHOWER
FD	FLOOR DRAIN	SHTG	SHEATHING
FF	FINISHED FLOOR	SIM	SIMILAR
FIN	FINISH	SL	SLIDING
FL	FLOOR	SPEC	SPECIFICATION
FLUOR	FLUORESCENT	SQ	SQUARE
FOUND	FOUNDATION	SS	SANITARY SEWER
FP	FIREPLACE	STL	STEEL
FT	FOOT OR FEET	STOR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURAL
FURN	FURNACE	SUB	SUBCONTRACTOR
		SUBFLR	SUBFLOOR
G	GAS	SW	SHEAR WALL
GA	GAUGE	SYM	SYMMETRICAL
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR	T	TILE, TREAD, TOP, OR TRANSFORMER
GD	GARBAGE DISPOSAL	T & G	TONGUE AND GROOVE
GL	GLASS	TBD	TO BE DETERMINED
GR	GRADE	TEL	TELEPHONE
GYP BD	GYPSUM BOARD	THK	THICK
HC	HANDICAP	TO	TOP OF
HDR	HEADER	TOC	TOP OF CURB
HDWD	HARDWOOD	TOP	TOP OF PLATE
HT	HEIGHT	TOS	TOP OF SUBFLOOR
HORIZ	HORIZONTAL	TOW	TOP OF WALL
HR	HOUR	TP	TOP OF PAVEMENT
INSUL	INSULATION	TV	TELEVISION
INT	INTERIOR	TYP	TYPICAL
JT	JOINT OR JOINT TRENCH	UNO	UNLESS NOTED OTHERWISE
LINEN	LINEN CLOSET	VERT	VERTICAL
LAM	LAMINATE		
LAV	LAVATORY	W	WEST, WASHER, OR WATER WITH
LT	LIGHT	WC	WATER CLOSET
		WD	WOOD
MAX	MAXIMUM	WH	WATER HEATER
MECH	MECHANICAL	W x H	WIDTH BY HEIGHT
MFR	MANUFACTURER	WNDW	WINDOW
MH	MANHOLE	W/O	WITHOUT
MIN	MINIMUM	WP	WATERPROOF
MISC	MISCELLANEOUS	WR	WATER RESISTANT
MLDG	MOULDING	WT	WEIGHT
MTD	MOUNTED		
MTL	METAL		

PROJECT SCOPE
REMODEL OF (E) SINGLE STORY HOME WITH (N) 2ND STORY ADDITION AND LOFT ABOVE, AND (N) 2-STORY FRONT PORCH.

PLANNING DATA
PROJECT COMMON ADDRESS: 155 SALADA AVENUE PACIFICA, CA 94044
ASSESSOR'S PARCEL NUMBER: 016-042-120
ZONING: R-3 MULTIPLE-FAMILY RESIDENTIAL

BUILDING CODE DATA
TYPE OF OCCUPANCY: R3
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE
NUMBER OF STORIES: 2
FIRE SPRINKLERS IN EXISTING STRUCTURE: NO
ALL WORK TO CONFORM TO 2019 CRC, CBC, CFC, CPC, CMC, CEC, CEnC, AND CGBC, AND CURRENT CITY OF PACIFICA ORDINANCES.

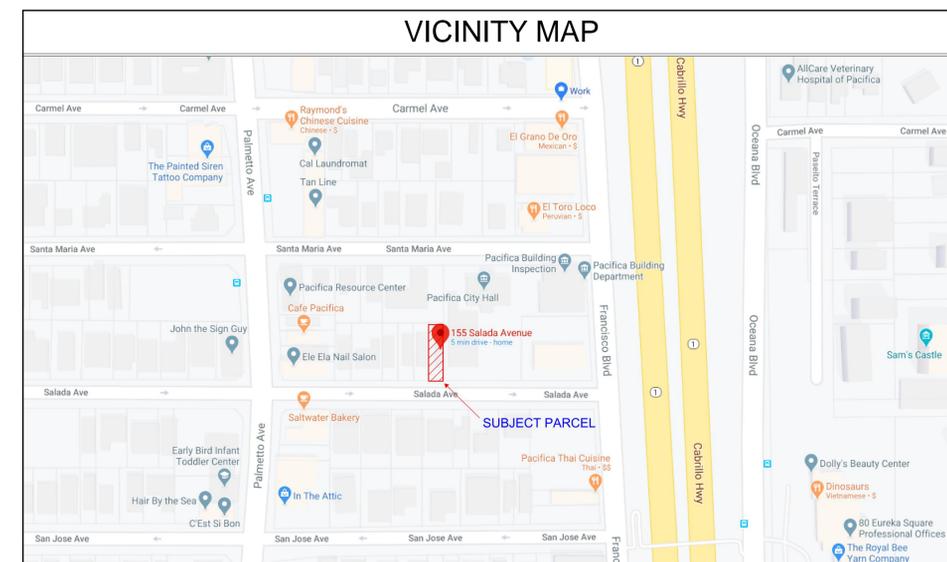
PROJECT DIRECTORY				
SERVICE	COMPANY	CONTACT	TELEPHONE	
APPLICANT / OWNER	-	MICHAEL AND CATHY GINTER		
DESIGN / DRAFTING	BRIAN BRINKMAN DRAFTING & DESIGN INC.	BRIAN BRINKMAN	(650) 922-7993	

PROJECT NOTES
- FIRE SPRINKLERS ARE NOT A PART OF THE PROJECT SCOPE. NO FIRE SUPPRESSION SYSTEM EXISTS AT THE PROPERTY. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER CURRENT BUILDING CODE.

CALGREEN CONSTRUCTION REQUIREMENTS
<ul style="list-style-type: none"> * CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1. * PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN: <ul style="list-style-type: none"> - IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED - SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION - IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED - IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION * SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME * AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. * PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS. * COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION. * ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. * PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. * AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED. <ul style="list-style-type: none"> * CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. * MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4. * PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. * INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS. * CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. * EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL. * DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

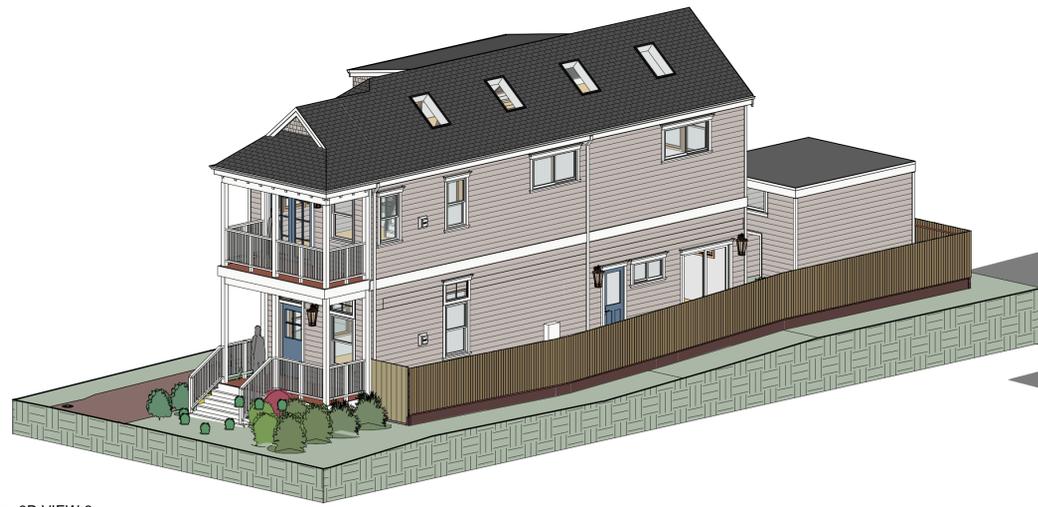
PROJECT INFORMATION	
LOT SIZE	2,250 SF
(E) LEVEL 1 (TOTAL) LIVING AREA	704 SF (CONDITIONED)
(N) LEVEL 1 LIVING AREA	704 SF (CONDITIONED)
(N) LEVEL 2 LIVING AREA	751 SF (CONDITIONED)
(N) TOTAL LIVING AREA	1,455 SF (CONDITIONED)
ADDED LIVING AREA	751 SF (CONDITIONED)
(E) ACCESSORY STRUCTURE AREA (TO REMAIN)	221 SF (UN-CONDITIONED)
(E) SHED AREA (TO BE REMOVED)	27 SF (UN-CONDITIONED)
(N) LEVEL 1 COVERED FRONT PORCH	84 SF (UN-CONDITIONED)
(N) LEVEL 2 COVERED BALCONY	84 SF (UN-CONDITIONED)
(N) TOTAL LANDSCAPED AREA	451 SF / 2,250 SF = 20.04%
(E) LOT COVERAGE	704 + 221 + 27 = 952 SF 952 SF / 2,250 SF = 42.31%
(N) LOT COVERAGE (60% MAX ALLOWED)	806 + 221 = 1,027 SF 1,027 SF / 2,250 SF = 45.64%
(E) USABLE OPEN SPACE	402 SF
(N) USABLE OPEN SPACE	410 SF

DRAWING INDEX	
A0.0	TITLE SHEET
A0.1	3D VIEWS
A0.2	MATERIALS PERSPECTIVE
A1.1	EXISTING AND NEW SITE PLANS
A1.2	LANDSCAPING AND AREAS PLAN
A2.1	EXISTING AND NEW LEVEL 1 FLOOR PLANS
A2.2	EXISTING ROOF AND NEW LEVEL 2 FLOOR PLANS
A2.3	NEW LOFT AND ROOF PLAN
A3.1	EXISTING AND NEW FRONT AND REAR ELEVATIONS
A3.2	EXISTING AND NEW LEFT ELEVATIONS
A3.3	EXISTING AND NEW RIGHT ELEVATIONS
A3.5	CROSS SECTIONS



REV	DATE	DESCRIPTION
2	03/30/2020	REVISED DESIGN SET
3	04/03/2020	REVIDESIGN SET SET
4	04/09/2020	PLANNING SUBMITTAL
5	05/12/2020	PLANNING RESUBMITTAL
6	05/29/2020	ZONING ADMINISTRATOR HEARING

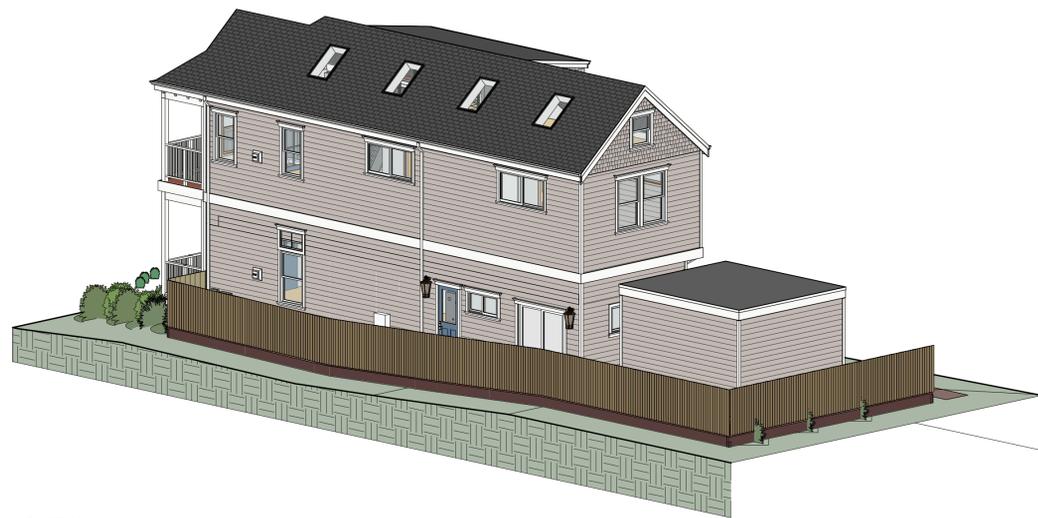
PROJECT NAME: REMODEL AND 2ND STORY ADDITION GINTER RESIDENCE	PROJECT SCOPE: REMODEL OF (E) SINGLE STORY HOME WITH (N) 2ND STORY ADDITION AND 2-STORY FRONT PORCH
PROJECT ADDRESS: 155 SALADA AVENUE PACIFICA, CA 94044	
SHEET TITLE TITLE SHEET	
SHEET A0.0	



② 3D VIEW 2



④ 3D VIEW 4



③ 3D VIEW 3



① 3D VIEW 1

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PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
 GINTER RESIDENCE**

PROJECT ADDRESS:
 155 SALADA AVENUE
 PACIFICA, CA 94044

PROJECT SCOPE:
 REMODEL OF (E) SINGLE STORY
 HOME WITH (N) 2ND STORY
 ADDITION AND 2-STORY FRONT
 PORCH

SHEET TITLE
3D VIEWS

SHEET
A0.1

EXTERIOR MATERIALS:

1. SIDING 1: HARDIEPLANK LAP SIDING WITH 6" REVEAL PAINTED VALSPAR 4004-1B- "URBAN SUNRISE"
2. SIDING 2: HARDIESHINGLE STRAIGHT EDGE SIDING, PAINTED VALSPAR 4004-1B- "URBAN SUNRISE"
3. TRIM: WOOD FASCIA BOARD AND EXTERIOR TRIM PAINTED VALSPAR 7006-24- "ULTRA WHITE"
4. WINDOWS: MARVIN CLAD ULTIMATE WINDOWS WITH WHITE SASH
5. ROOFING: GAF TIMBERLINE HD COMPOSITION ASPHALT ROOFING SHINGLES IN "CHARCOAL" COLOR
6. FENCING: EXISTING REDWOOD GOOD NEIGHBOR FENCE
7. RAILING: WOOD RAILING WITH WOOD 6x6 POSTS AND WOOD CAP PAINTED VALSPAR 7006-24- "ULTRA WHITE"
8. GUTTER / DOWNSPOUTS: GALVANIZED DOWNSPOUTS AND OGEE GUTTERS PAINTED VALSPAR 7006-24- "ULTRA WHITE"
9. EXTERIOR DOORS: FIBERGLASS PAINTED VALSPAR 4004-6B- "VERANDA BLUE"
10. DRIVEWAY: EXISTING PAVER DRIVEWAY



1 MATERIALS PERSPECTIVE



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 REMODEL OF (E) SINGLE STORY
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 ADDITION AND 2-STORY FRONT
 PORCH

SHEET TITLE
**MATERIALS
 PERSPECTIVE**

SHEET
A0.2

RIGHT-OF-WAY CONSTRUCTION NOTES:

ALL ENGINEERING INSPECTIONS REQUIRE 24-HOUR NOTICE.

CONSTRUCTION WORK WITHIN THE STREET OR SIDEWALK RIGHT-OF-WAY SHALL ONLY BE DONE BETWEEN 9 AM & 4 PM, MONDAY THROUGH FRIDAY EXCEPT CITY HOLIDAYS, WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE CITY ENGINEER.

ROADWAYS AND SIDEWALKS SHALL BE MAINTAINED CLEAR OF CONSTRUCTION MATERIALS AND DEBRIS AT ALL TIMES. DAILY ROAD CLEANUP WILL BE ENFORCED.

HOLES OR TRENCHES WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE BACKFILLED BEFORE LEAVING EACH NIGHT UNLESS WRITTEN PERMISSION IS PROVIDED BY THE CITY ENGINEER, WHICH MUST BE REQUESTED AT LEAST 24 HOURS ADVANCE.

ALL RECORDED SURVEY POINTS, MONUMENTS, RAILROAD SPIKES, PINS, CROSS CUTS ON TOP OF SIDEWALKS AND TAGS ON TOP OF CULVERT HEADWALLS OR END WALLS, WHETHER WITHIN PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY, SHALL BE PROTECTED AND PRESERVED. IF SURVEY POINT(S) ARE ALTERED, REMOVED, OR DESTROYED, THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A LICENSED SURVEYOR OR QUALIFIED CIVIL ENGINEER TO RESTORE OR REPLACE THE SURVEY POINTS AND RECORD THE THE REQUIRED MAP, PRIOR TO THE COMPLETION OF THE BUILDING PERMIT.

AN ENCROACHMENT PERMIT ISSUED FROM PUBLIC WORKS WILL BE REQUIRED FOR WORK DONE IN THE PUBLIC RIGHT-OF-WAY. ALL IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY STANDARDS. AN ENCROACHMENT BOND (OR CASH OR CERTIFICATE OF DEPOSIT) WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

ALL IMPROVEMENTS IN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PACIFICA SPECIFICATIONS AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. IMPROVEMENTS OTHER THAN RETAINING WALLS AND BUILDING STRUCTURES ARE REVIEWED AND INSPECTED BY THE CITY ENGINEER OR HIS/HER DESIGNATED OFFICIALS. RETAINING WALLS AND BUILDING STRUCTURES ARE REVIEWED AND INSPECTED BY THE CITY BUILDING OFFICIAL OR HIS/HER DESIGNATED OFFICIALS.

EXISTING SIDEWALK, CURB, GUTTER, OR STREET ADJACENT TO PROPERTY FRONTAGE THAT IS DAMAGED OR DISPLACED SHALL BE REPAIRED OR REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED FOR THIS PROJECT.

ANY DAMAGE TO IMPROVEMENTS WITHIN CITY RIGHT-OF-WAY OR TO ANY PRIVATE PROPERTY, WHETHER ADJACENT TO SUBJECT PROPERTY OR NOT, THAT IS DETERMINED BY THE CITY ENGINEER TO HAVE RESULTED FROM CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT, SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER.

NO PRIVATE STRUCTURE (I.E. BUILDING, RETAINING WALL, FENCE, MAILBOX, ETC.) SHALL BE CONSTRUCTED ENCROACHING INTO THE PUBLIC RIGHT-OF-WAY.

TRENCHES OR HOLES IN THE STREET OR SIDEWALK AREAS MUST HAVE A 6" SHOULDER ON ALL SIDES (A 6" TEE-CUT) AT LEAST 16" BELOW THE FINISHED SURFACE. FROM THAT LEVEL UP TO THE UNDERSIDE OF THE PAVEMENT OR CONCRETE, THE TRENCH OR HOLE SHALL BE BACKFILLED WITH CALTRANS CLASS 2 AGGREGATE BASE MATERIAL, COMPACTED TO 95% OF MAXIMUM DENSITY (PLACED AND COMPACTED IN MAX 8" LIFTS). REFER TO CITY STANDARD 301A.

PATCHES WITHIN 12 INCHES OF PAVEMENT EDGE SHALL BE EXTENDED TO THE PAVEMENT EDGE. PAVEMENT PATCH MUST BE CALTRANS 1/2" MEDIUM HOT MIX ASPHALT COMPACTED TO 95% IN 2" LIFTS.

PATCHES IN CONCRETE SIDEWALK OR DRIVEWAY APPROACHES SHALL BE SAW-CUT AT EXISTING SCORE JOINTS, INCLUDING 6" BEHIND THE FACE OF CURB IF THE CURB IS NOT BEING REPLACED. 1/2" x 12" DOWELS MUST BE INSERTED AT LEAST 4" INTO ADJACENT CURB AND 6" INTO ADJACENT FLATWORK.

A 6" DEEP LAYER OF CALTRANS CLASS 2 AB, COMPACTED TO 95% OVER ACCEPTABLE NATIVE SOIL COMPACTED TO AT LEAST 90% IS REQUIRED BENEATH DRIVEWAY APPROACHES. CONCRETE THICKNESS MUST BE AT LEAST 6" FOR RESIDENTIAL DRIVEWAYS.

COVERS OR PLATES OR OTHER ITEMS EMBEDDED WITHIN THE SIDEWALK AREA MUST BE FLUSH WITH THE SURROUNDING SURFACE, AND MUST NOT HAVE GAPS OR HOLES THAT JEOPARDIZE BICYCLISTS, CHILDREN, PEDESTRIANS, SENIORS, OR THE DISABLED, AND MUST HAVE NON-SLIP SURFACES.

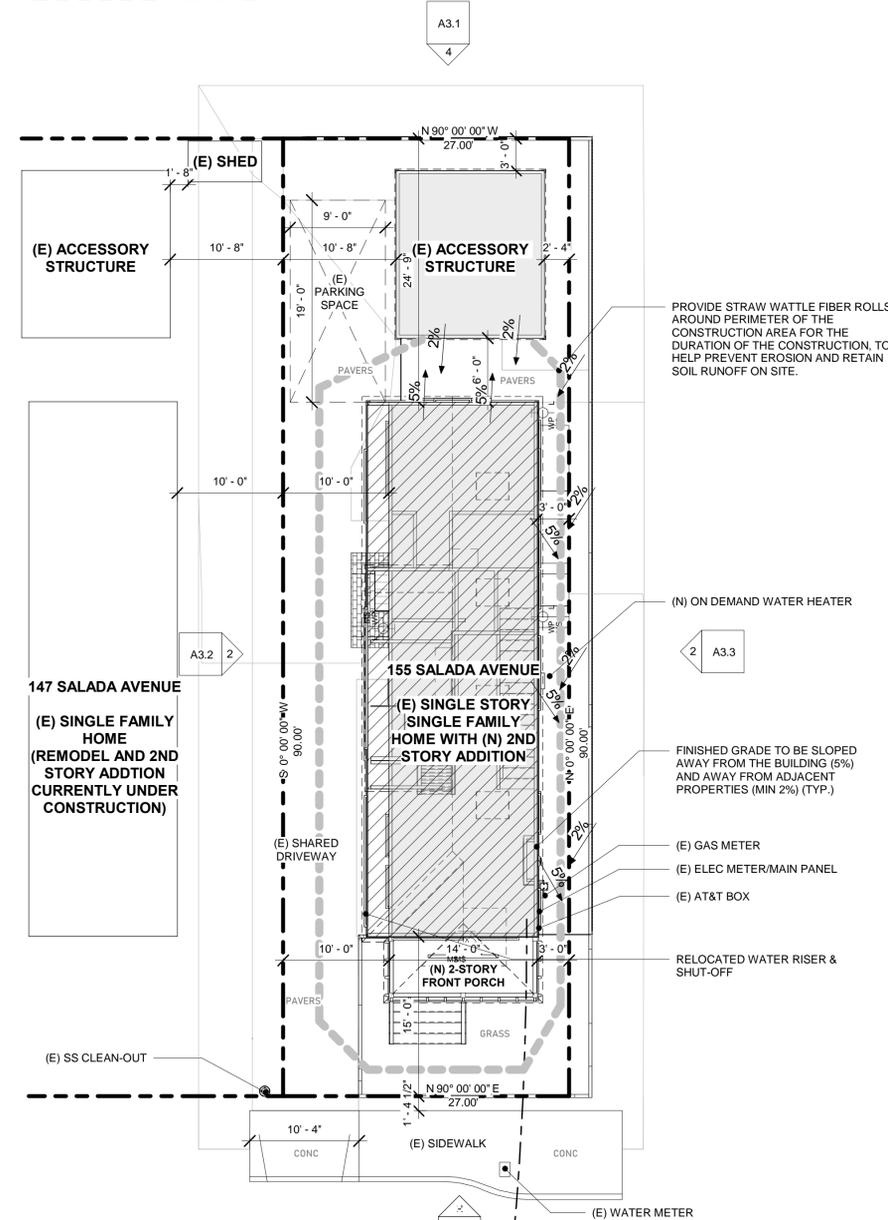
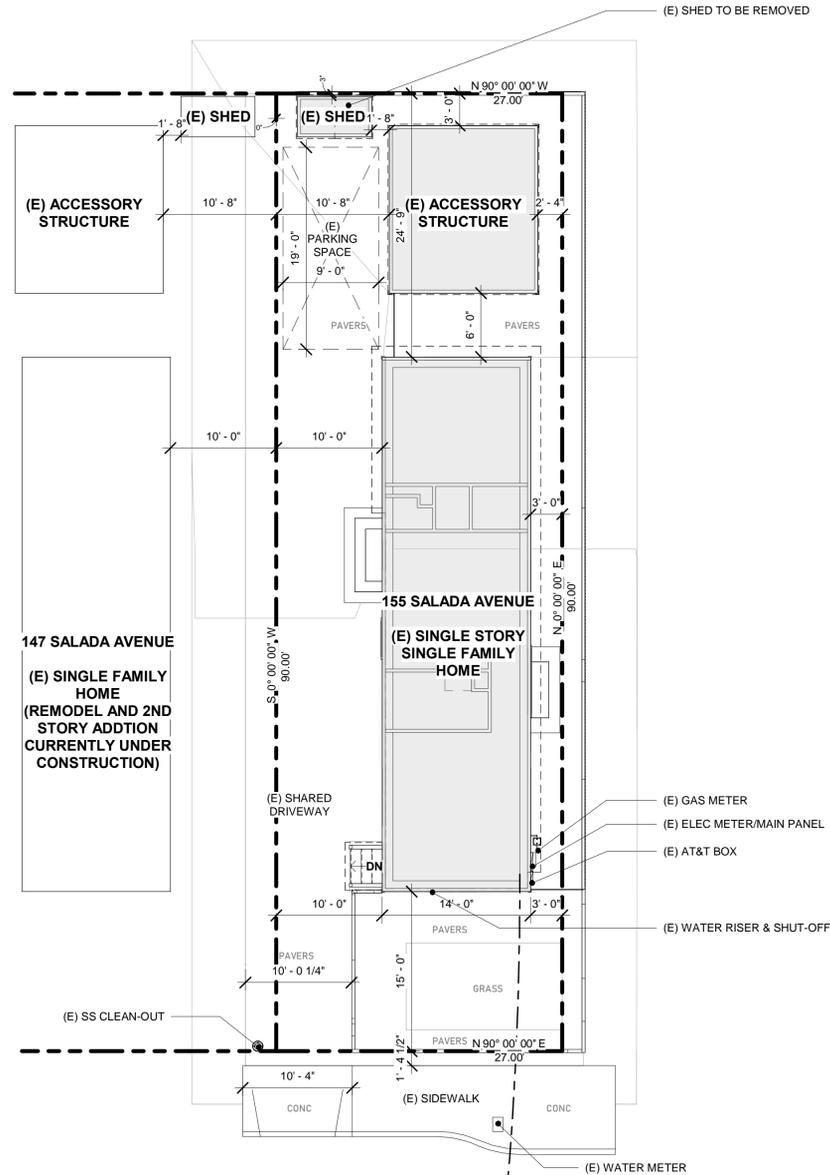
THE CONTRACTOR OR OWNER SHALL CONTACT THE WASTEWATER TREATMENT PLANT (PHONE 738-4669) 24 HOURS PRIOR TO STARTING EACH OF THE FOLLOWING ITEMS: TRENCHING, BACKFILLING, PAVEMENT RESTORATION, SEWER TAP, PIPE INSTALLATION OR ANY OTHER SEWAGE WORK.

NO DEBRIS BOX OR EQUIPMENT SHED IS ALLOWED IN THE STREET OR SIDEWALK.

NO WASTEWATER (INCLUDING EQUIPMENT CLEANING WASH WATER, VEHICLE WASH WATER, COOLING WATER, AIR CONDITIONER CONDENSATE, AND FLOOR CLEANING WASH WATER) SHALL BE DISCHARGED TO THE STORM DRAIN SYSTEM, THE STREET, OR GUTTER.

SITE PLAN LINE LEGEND

- PROPERTY LINE
- - - SETBACK
- WATER LINE
- - - SANITARY SEWER
- - - ELECTRICAL
- GAS
- STRAW WATTLE



SALADA AVE

SALADA AVE



1 EXISTING SITE PLAN
1/8" = 1'-0"



2 NEW SITE PLAN
1/8" = 1'-0"

**BRIAN BRINKMAN
DRAFTING & DESIGN, INC.**
1690 Francisco Blvd.
Pacifica, CA 94044
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GINTER RESIDENCE

PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY HOME WITH (N) 2ND STORY ADDITION AND 2-STORY FRONT PORCH

PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

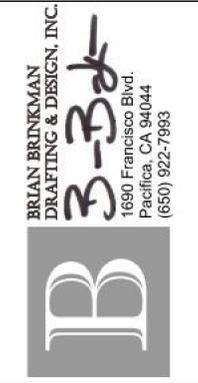
SHEET TITLE
EXISTING AND NEW SITE PLANS

SHEET
A1.1

PLANTING SCHEDULE										
LETTER	ABR	BOTANICAL NAME	Type	Count	SIZE	WUCOLS WATER USE	CAL NATIVE	DROUGHT TOLERANT	SOURCE	SEA COAST TOLERANT
A	ACH MOO	Achillea 'Moonshine'	*Moonshine Yarrow	6	1 GAL	LOW	YES	YES	MONROVIA	VERY
B	SAL CLE	Salvia Clevelandii	*California Blue Sage	3	5 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY
C	ERI GLA	Erigeron Glaucus 'Cape Sebastian'	*Seaside Daisy	24	1 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY
D	MIM AUR	Mimulus Aurantiacus	*Sticky Monkey Flower	8	5 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY
E	MUH RIG	Muhlenbergia Rigens	*Deer Grass	5	1 GAL	LOW	YES	YES	SAN MARCOS GROWERS	VERY
G	RIB SAN	Ribes Sanguineum Glutinosum	*Pink Flowered Currant	6	1 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY
H	RHA CAL	Rhamnus Californica 'Mound San Bruno'	*California Coffee Berry	5	5 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY
I	SAL BEE	Salvia Bees Bliss	*Bees Bliss Salvia	11	1 GAL	LOW	YES	YES	LAS PILITAS NURSERY	VERY



SITE AREA SCHEDULE	
Name	Area
ACCESSORY STRUCTURE	221 SF
BUILDING FOOTPRINT	704 SF
FRONT PORCH / STEPS	115 SF
LANDSCAPED	451 SF
PAVERS	941 SF



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6	05/29/2020	ZONING ADMINISTRATOR HEARING

PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
 GINTER RESIDENCE**

PROJECT ADDRESS:
 155 SALADA AVENUE
 PACIFICA, CA 94044

PROJECT SCOPE:
 REMODEL OF (E) SINGLE STORY
 HOME WITH (N) 2ND STORY
 ADDITION AND 2-STORY FRONT
 PORCH

SHEET TITLE
**LANDSCAPING
 AND AREAS PLAN**

SHEET
A1.2

EXISTING PLUMBING FIXTURES NOTES

- EXISTING PLUMBING FIXTURES WITHIN THE HOUSE THAT DO NOT MEET THE COMPLIANT FLOW RATES SHALL BE REPLACED, PER THE FOLLOWING:
 - WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH WATER CLOSETS WITH A MAX FLOW RATE OF 1.28 GPF.
 - SHOWER HEADS WITH A FLOW RATE IN EXCESS OF 2.5 GPM SHALL BE REPLACED WITH SHOWER HEADS WITH A MAX FLOW RATE OF 1.8 GPM.
 - LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE IN EXCESS OF 2.2 GPM SHALL BE REPLACED WITH FAUCETS WITH A MAX FLOW RATE OF 1.2 GPM (1.8 GPM FOR KITCHEN FAUCETS).

NEW PLUMBING FIXTURE NOTES:

- MAX FLOW RATE OF SHOWERHEADS SHALL BE 1.8 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.2 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

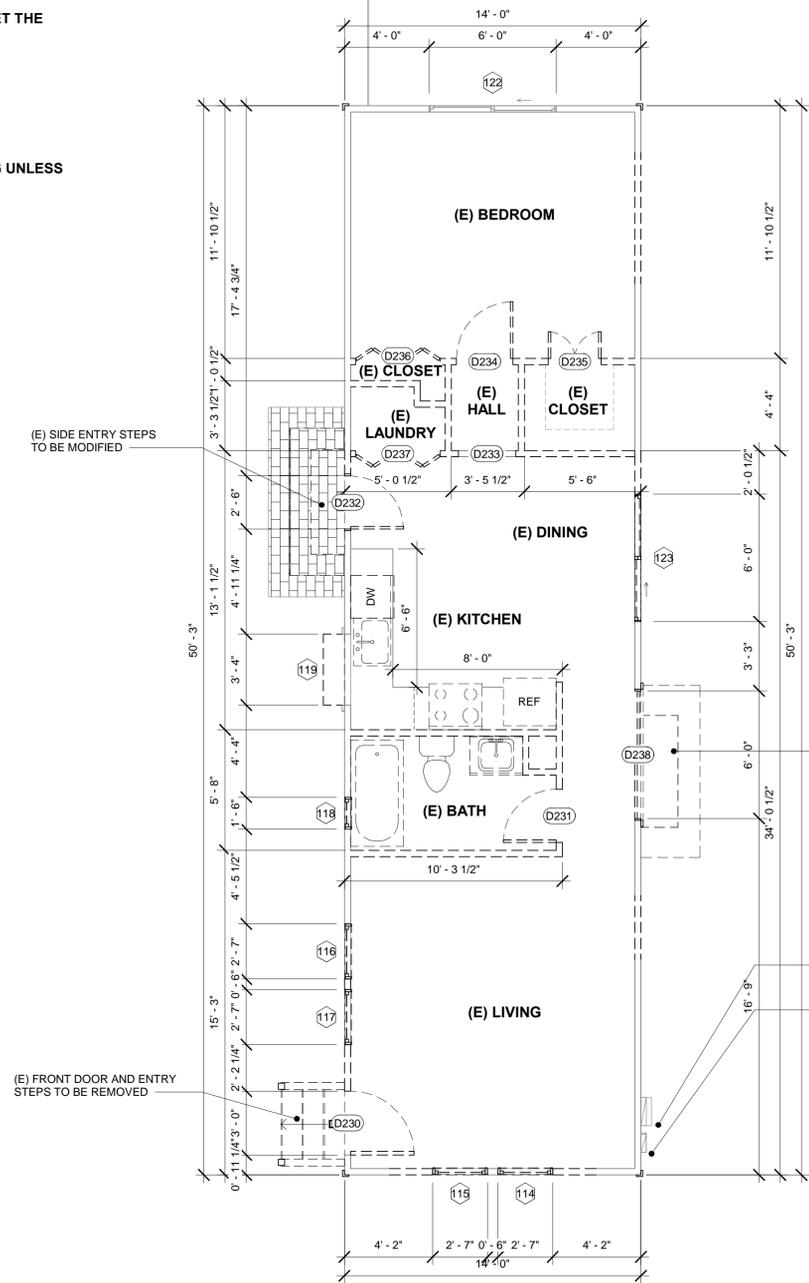
EGRESS NOTES:

- AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MIN. 5.7 SF IN OVERALL SIZE
 - MIN. 24" CLEAR OPENING HEIGHT
 - MIN. 20" CLEAR OPENING WIDTH
 - SILL A MAX. OF 44" ABOVE FINISHED FLOOR

GENERAL NOTES:

- ALL FRAMING DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

(E) SHED

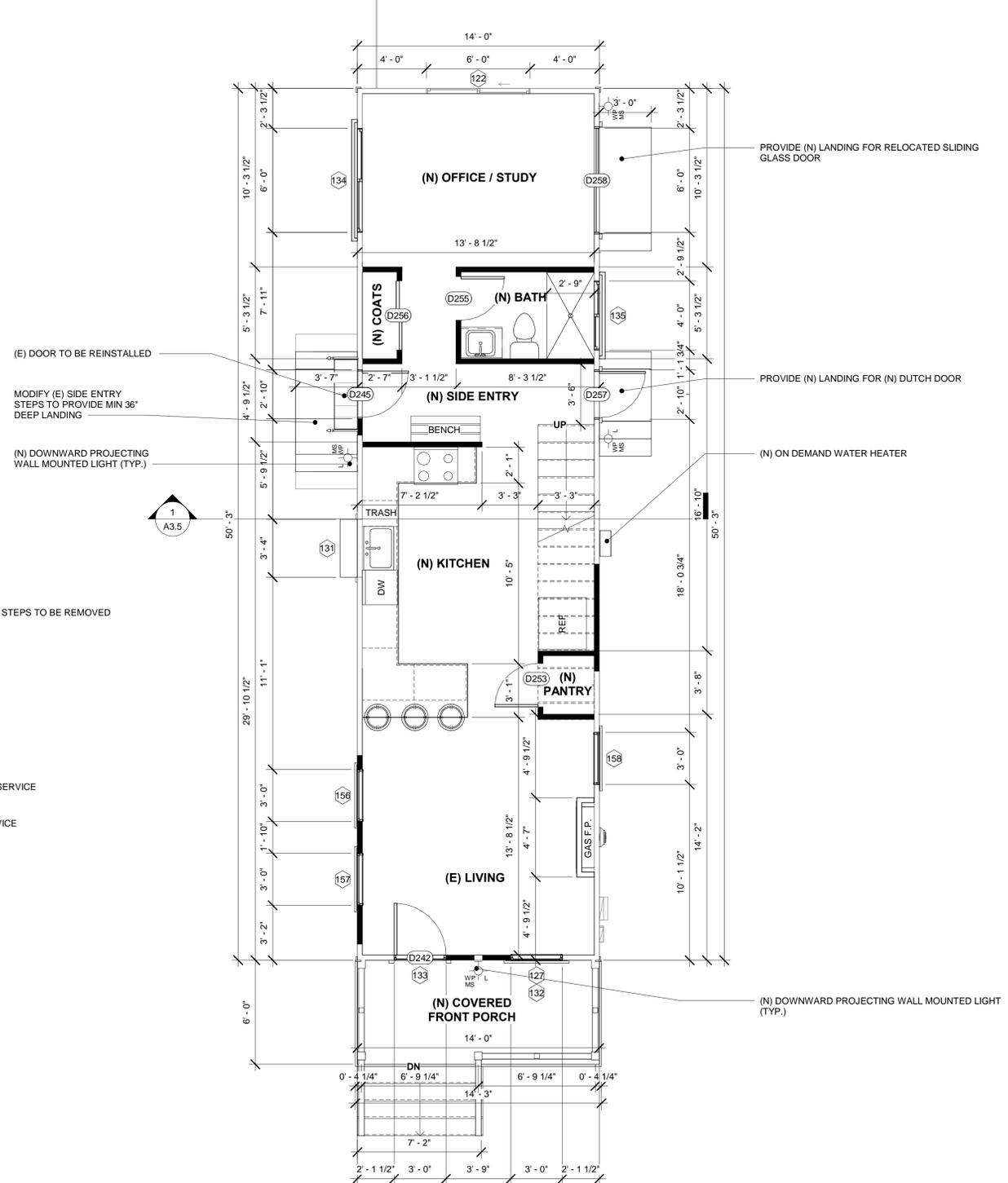


NOTE:
ALL WALLS, WINDOWS, DOORS, CABINETRY, FIXTURES, APPLIANCES, ETC. SHOWN DASHED TO BE REMOVED



1 EXISTING LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

(E) SHED



2 NEW LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- 1-HOUR WALL

**BRIAN BRINKMAN
DRAFTING & DESIGN, INC.**
1690 Francisco Blvd.
Pacifica, CA 94044
(650) 922-7993

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PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
GINTER RESIDENCE**

PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY HOME WITH (N) 2ND STORY ADDITION AND 2-STOREY FRONT PORCH

SHEET TITLE
EXISTING AND NEW LEVEL 1 FLOOR PLANS

SHEET
A2.1

EXISTING PLUMBING FIXTURES NOTES

EXISTING PLUMBING FIXTURES WITHIN THE HOUSE THAT DO NOT MEET THE COMPLIANT FLOW RATES SHALL BE REPLACED, PER THE FOLLOWING:

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- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

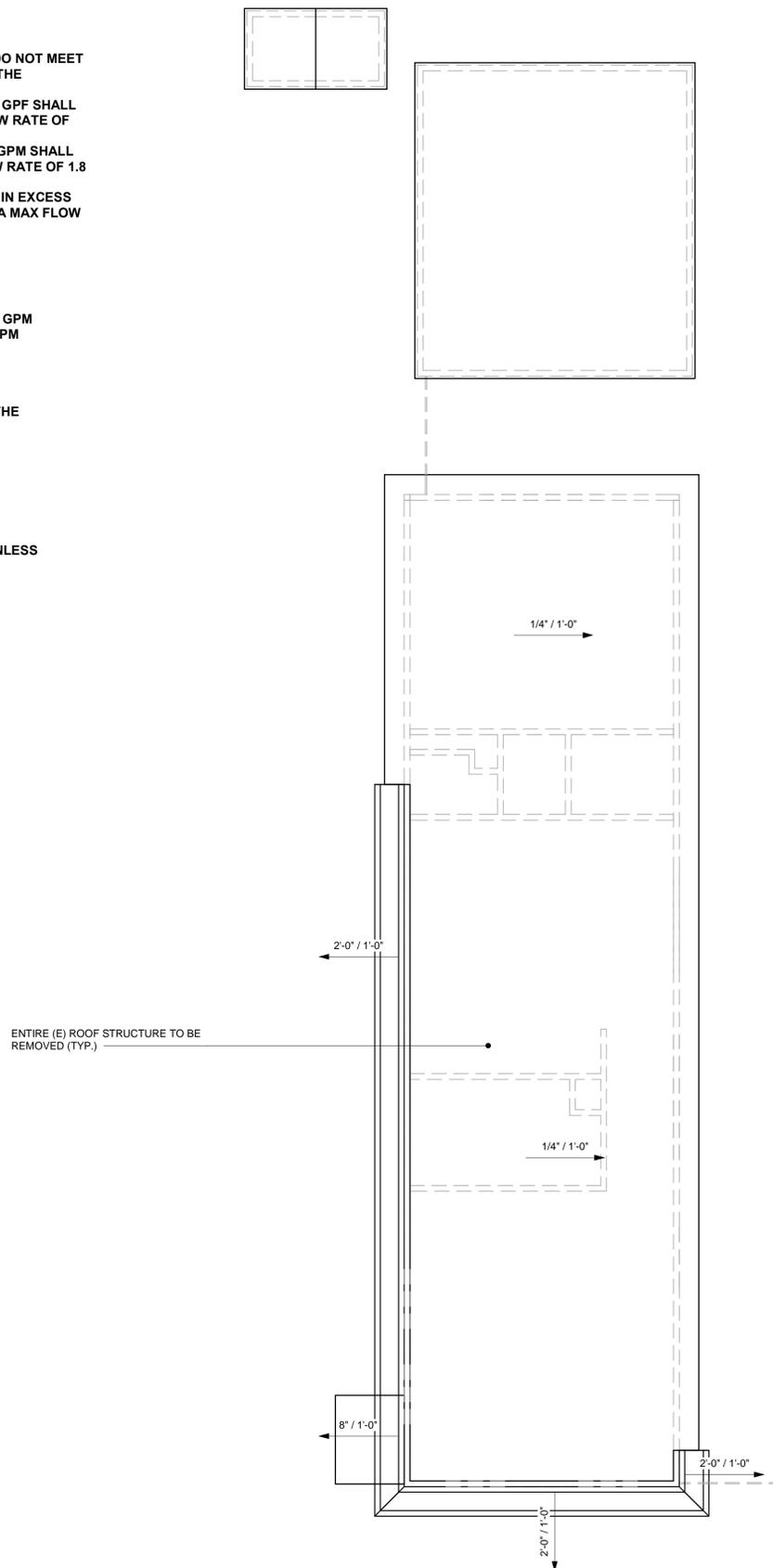
EGRESS NOTES:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

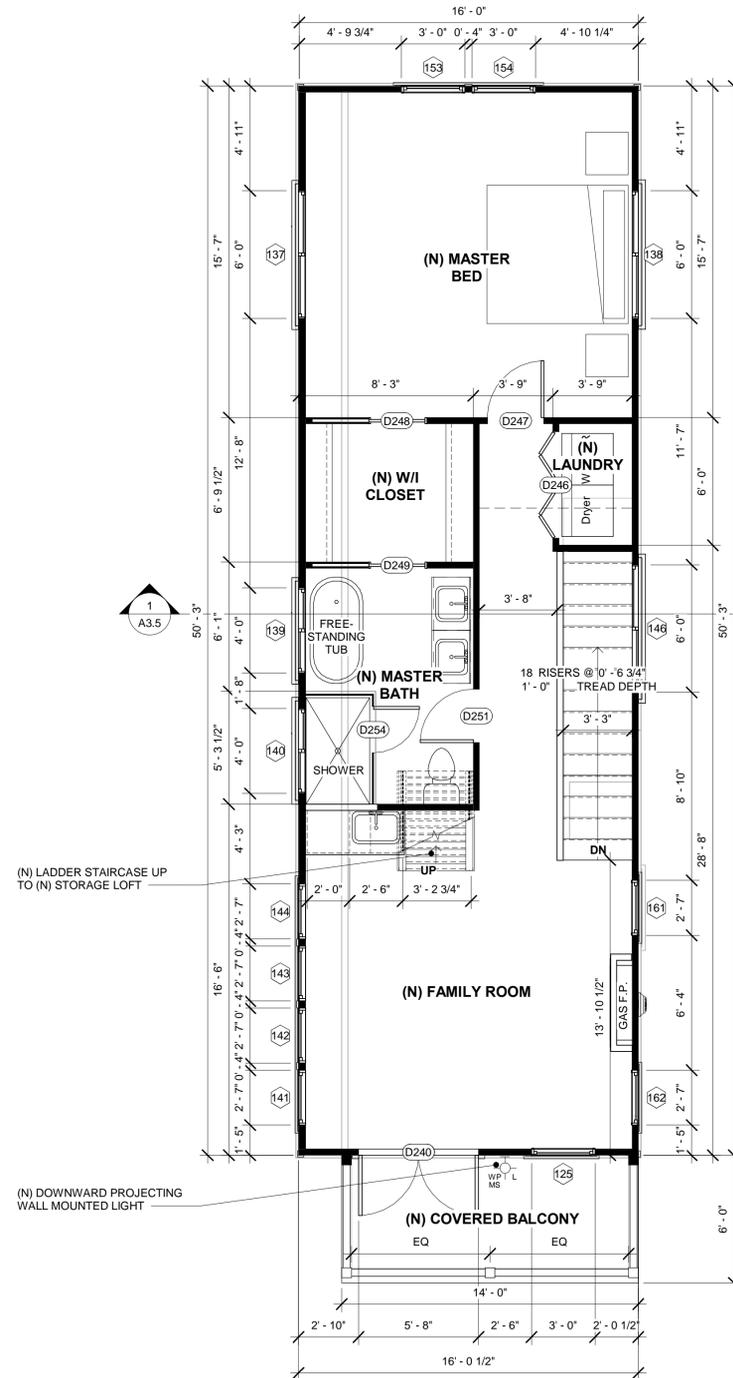
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- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

GENERAL NOTES:

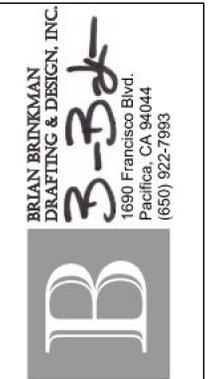
- ALL FRAMING DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.



1 EXISTING ROOF PLAN
1/4" = 1'-0"



2 NEW LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



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PROJECT NAME:
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PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY
HOME WITH (N) 2ND STORY
ADDITION AND 2-STORY FRONT
PORCH

SHEET TITLE
**EXISTING ROOF
AND NEW LEVEL
2 FLOOR PLANS**

SHEET
A2.2

EXISTING PLUMBING FIXTURES NOTES

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- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
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GENERAL NOTES:

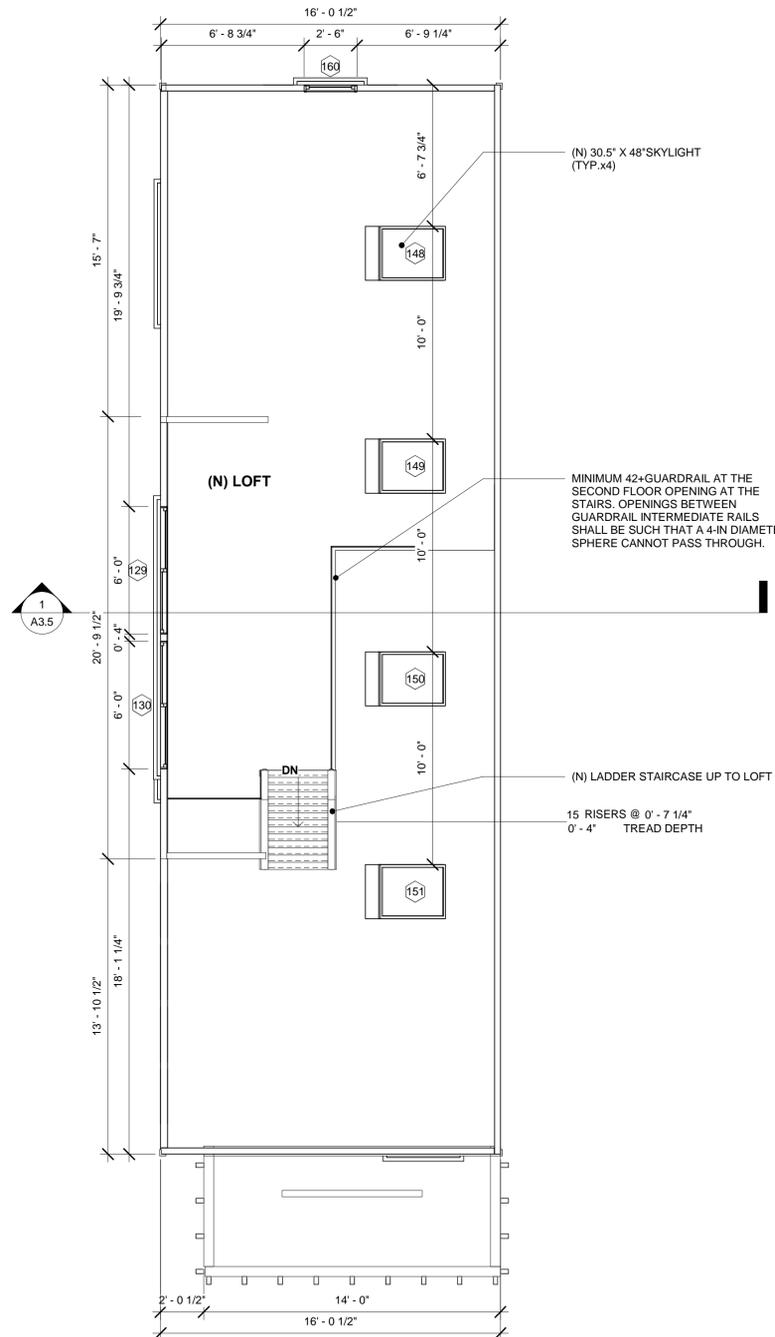
- ALL FRAMING DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

WALL LEGEND

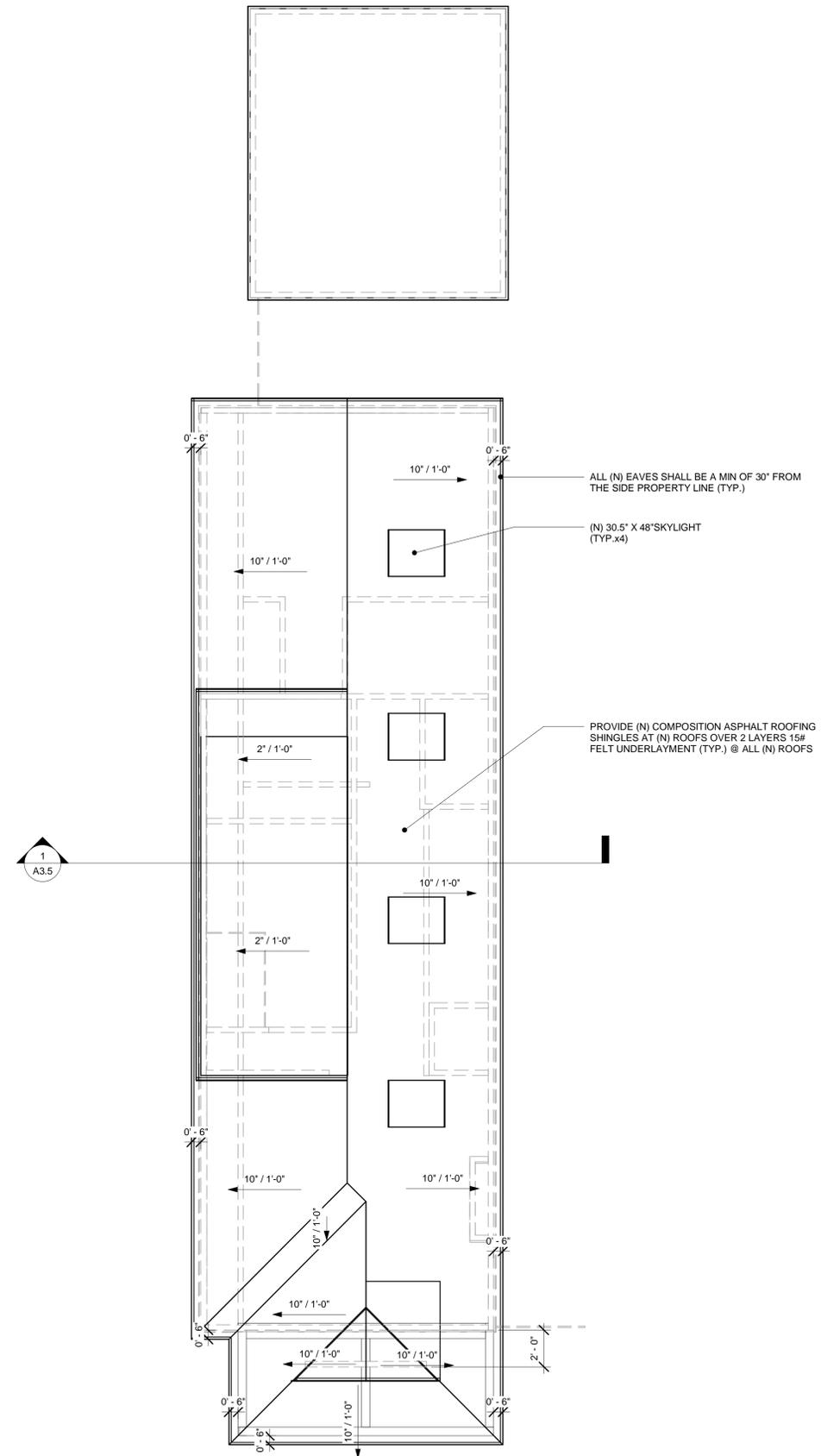
- PROPOSED STUD WALL
- PROPOSED PARTIAL HEIGHT WALL
- EXISTING / PROPOSED CONCRETE WALL
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- 1-HOUR WALL



1 NEW LOFT FLOOR PLAN
1/4" = 1'-0"



2 NEW ROOF PLAN
1/4" = 1'-0"



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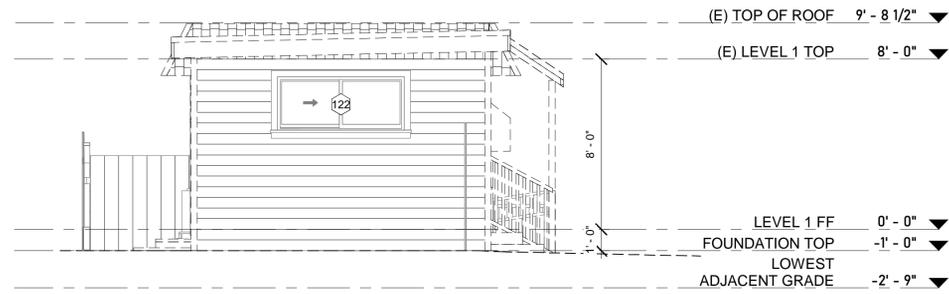
PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
GINTER RESIDENCE**

PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

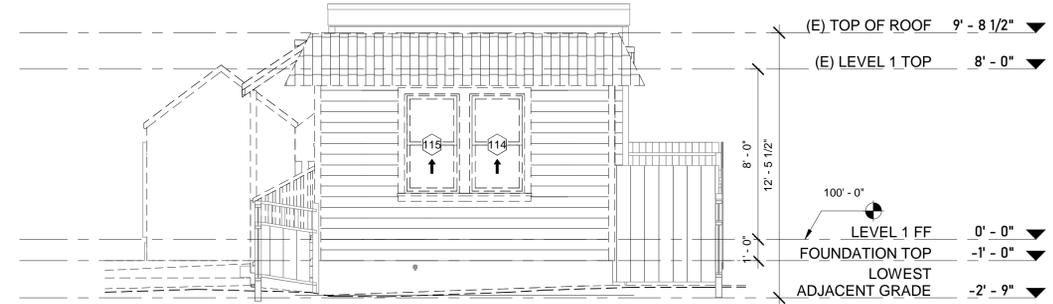
PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY
HOME WITH (N) 2ND STORY
ADDITION AND 2-STORY FRONT
PORCH

SHEET TITLE
**NEW LOFT AND
ROOF PLAN**

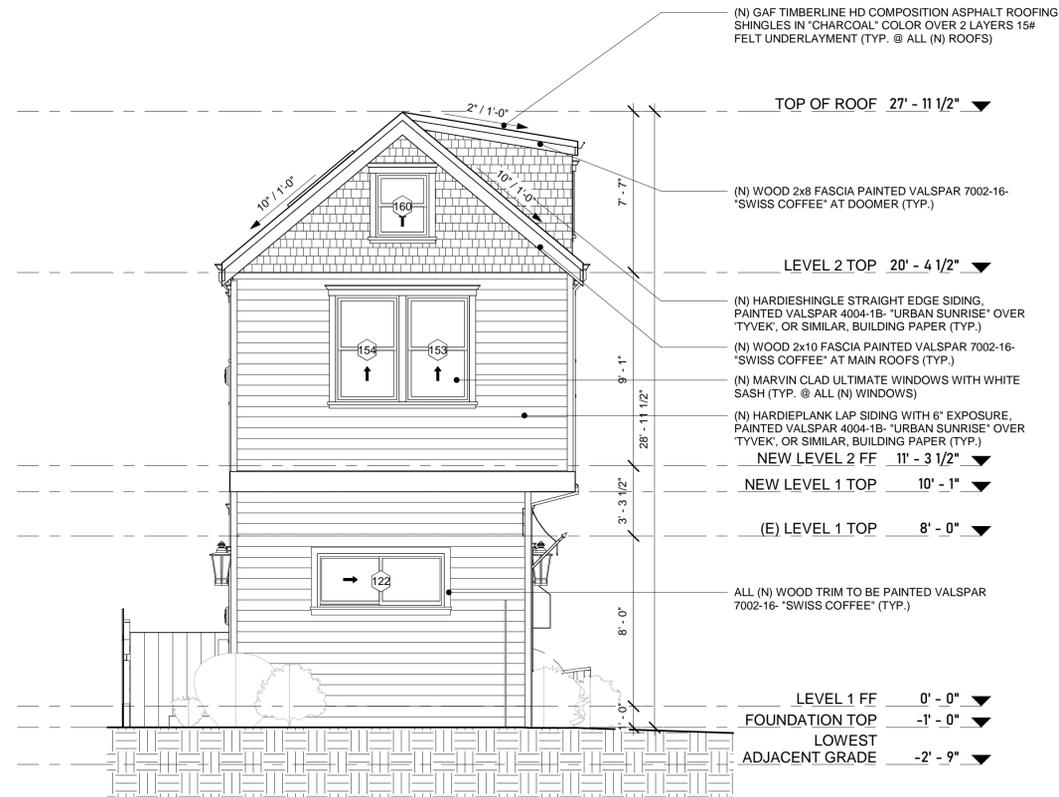
SHEET
A2.3



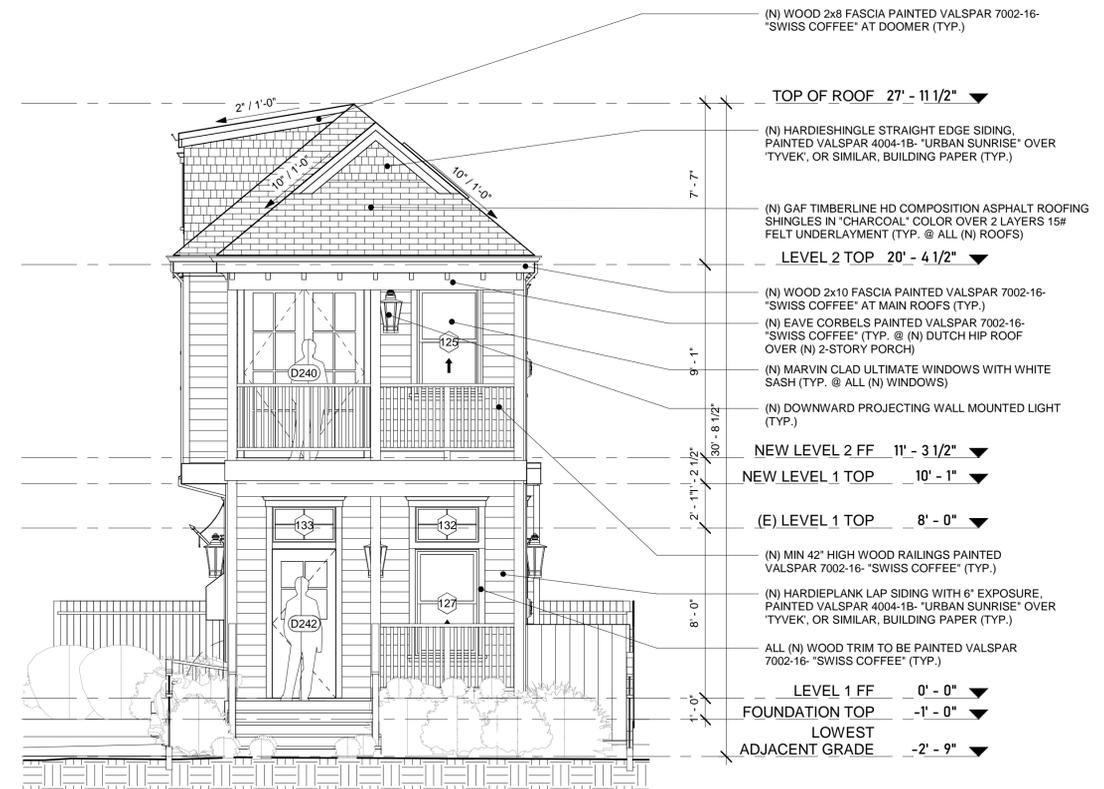
3 EXISTING REAR ELEVATION
1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



4 NEW REAR ELEVATION
1/4" = 1'-0"



2 NEW FRONT ELEVATION
1/4" = 1'-0"



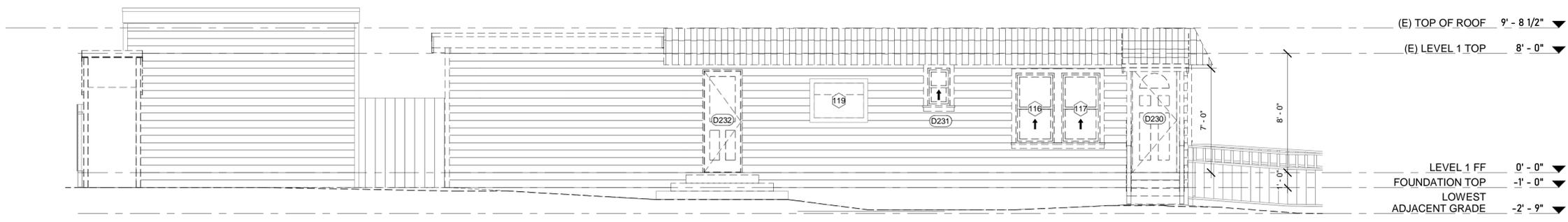
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PACIFICA, CA 94044

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REMODEL OF (E) SINGLE STORY
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PORCH

SHEET TITLE
**EXISTING AND
NEW FRONT AND
REAR
ELEVATIONS**



① EXISTING LEFT ELEVATION
 1/4" = 1'-0"



② NEW LEFT ELEVATION
 1/4" = 1'-0"

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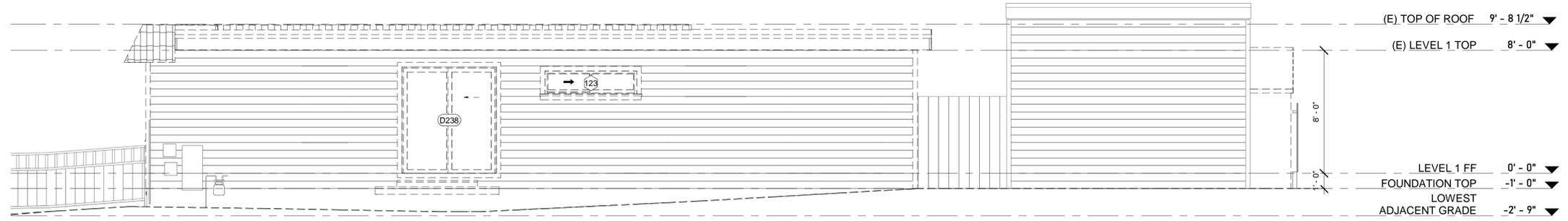
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 155 SALADA AVENUE
 PACIFICA, CA 94044

PROJECT SCOPE:
 REMODEL OF (E) SINGLE STORY
 HOME WITH (N) 2ND STORY
 ADDITION AND 2-STORY FRONT
 PORCH

SHEET TITLE
**EXISTING AND
 NEW LEFT
 ELEVATIONS**

SHEET
A3.2



① EXISTING RIGHT ELEVATION
1/4" = 1'-0"



② NEW RIGHT ELEVATION
1/4" = 1'-0"

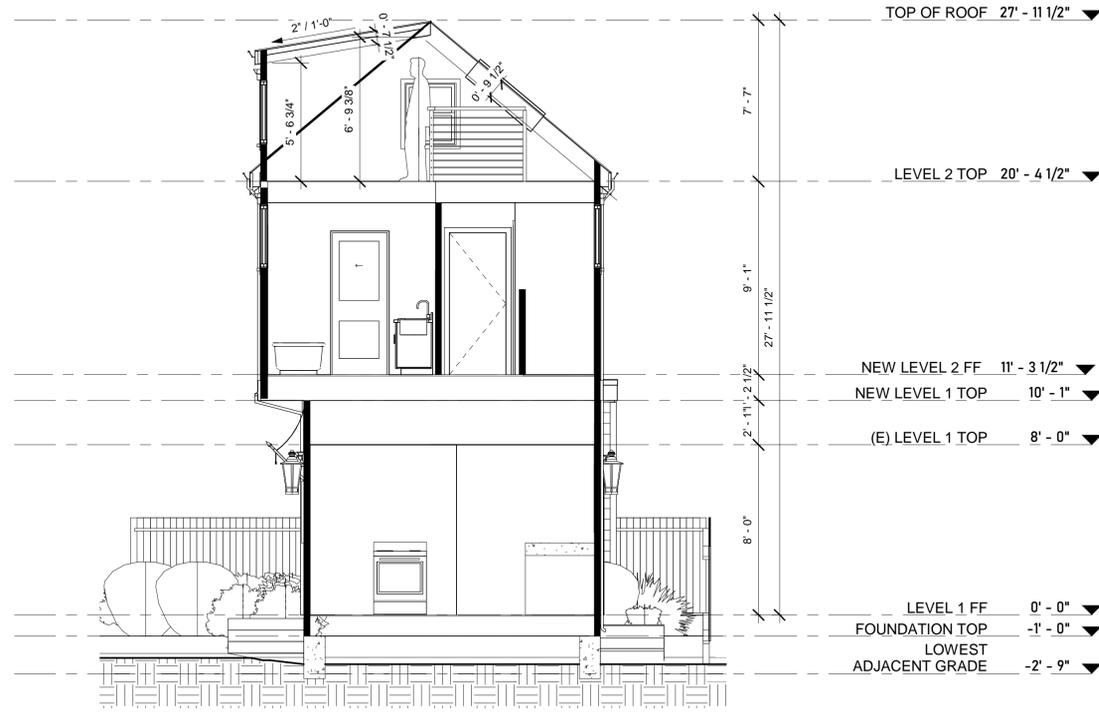
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PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
GINTER RESIDENCE**

PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY HOME WITH (N) 2ND STORY ADDITION AND 2-STORY FRONT PORCH

PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

SHEET TITLE
EXISTING AND NEW RIGHT ELEVATIONS



PROVIDE R-30 BATT INSULATION AT ALL CEILINGS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE, PER TITLE 24 REPORT (TYP.)

PROVIDE R-15 BATT INSULATION AT ALL WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE, PER TITLE 24 REPORT (TYP.)

PROVIDE R-19 BATT INSULATION AT ALL FRAMED FLOORS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE, PER TITLE 24 REPORT (TYP.)

① TRANSVERSE SECTION
1/4" = 1'-0"



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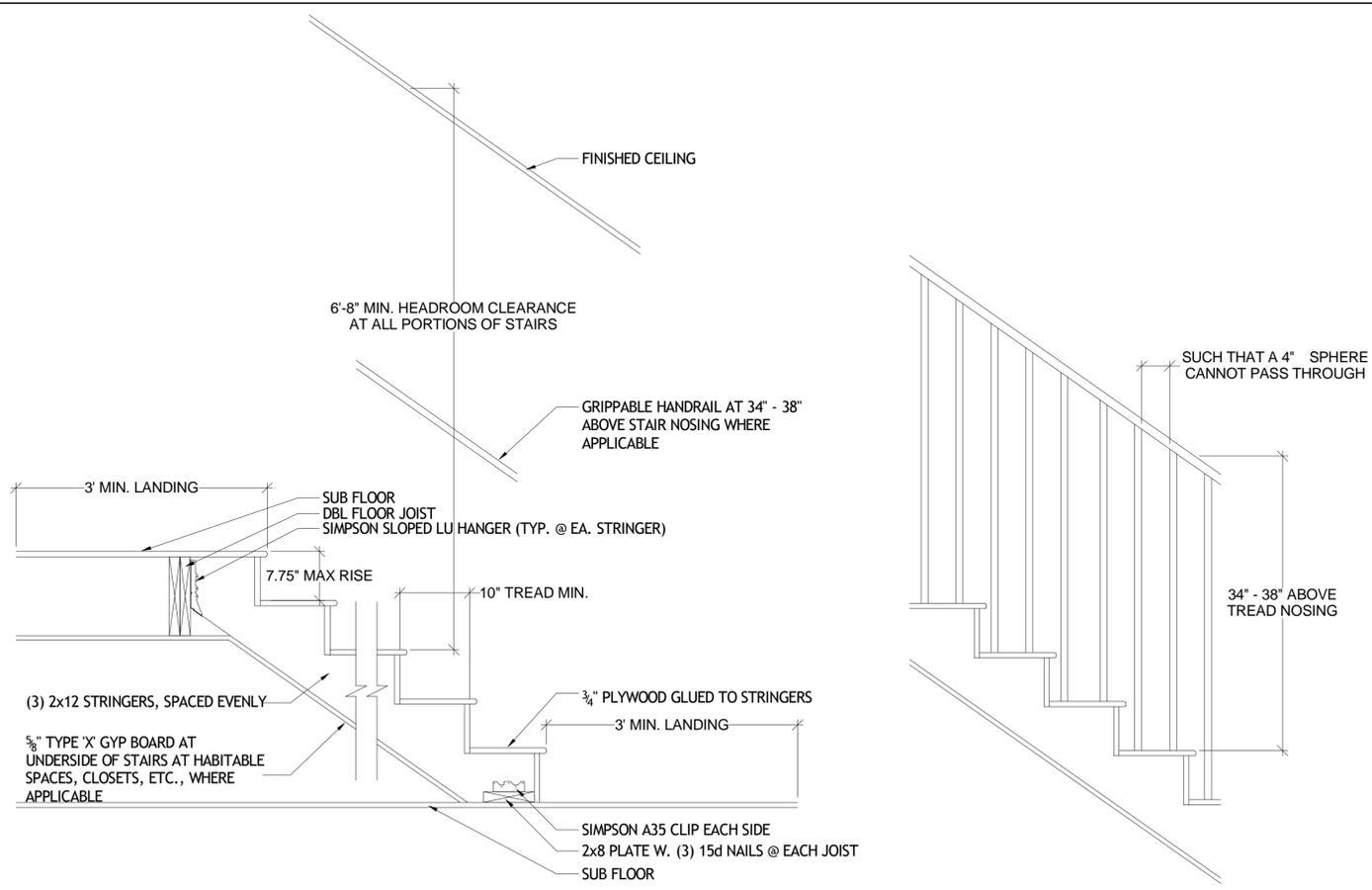
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HOME WITH (N) 2ND STORY
ADDITION AND 2-STORY FRONT
PORCH

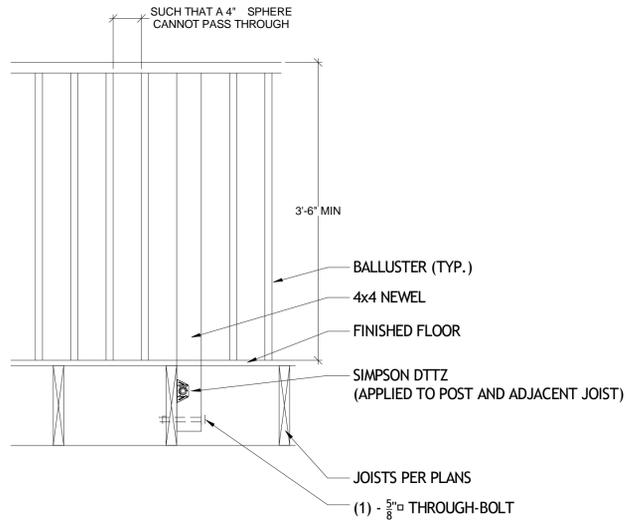
SHEET TITLE
**CROSS
SECTIONS**

SHEET
A3.5

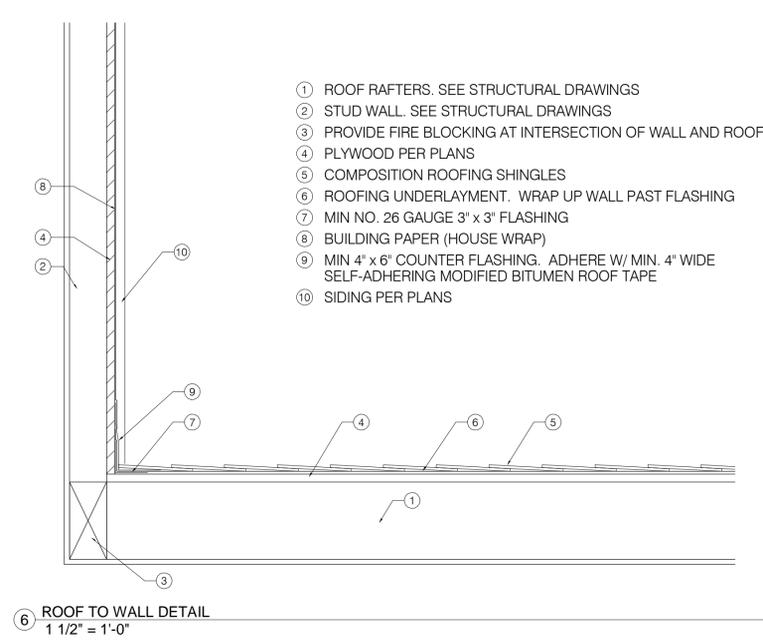


1 STAIR DETAILS
1" = 1'-0"

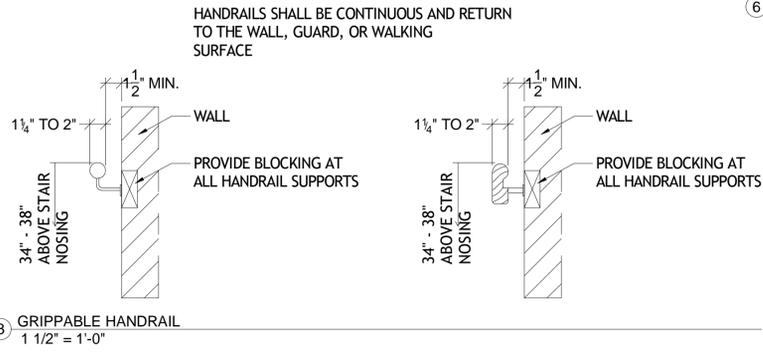
2 STAIR GUARDRAIL
1" = 1'-0"



4 GUARDRAIL DETAIL
1" = 1'-0"



6 ROOF TO WALL DETAIL
1 1/2" = 1'-0"



3 GRIPPABLE HANDRAIL
1 1/2" = 1'-0"

DOOR SCHEDULE							
Mark	Level	Width	Height	Operation	Comments	Phase Created	Phase Demolished
D230	LEVEL 1 FF	3' - 0"	7' - 0"	SINGLE		Existing	New Construction
D231	LEVEL 1 FF	2' - 6"	6' - 8"	SINGLE		Existing	New Construction
D232	LEVEL 1 FF	2' - 6"	6' - 10"	SINGLE		Existing	New Construction
D233	LEVEL 1 FF	2' - 4"	0' - 0"	OPENING		Existing	New Construction
D234	LEVEL 1 FF	2' - 8"	6' - 8"	SINGLE		Existing	New Construction
D235	LEVEL 1 FF	2' - 6"	6' - 8"	DOUBLE		Existing	New Construction
D236	LEVEL 1 FF	4' - 0"	6' - 8"	BI-FOLD		Existing	New Construction
D237	LEVEL 1 FF	4' - 0"	6' - 8"	BI-FOLD		Existing	New Construction
D238	LEVEL 1 FF	6' - 0"	6' - 10"	SLIDING	TO BE REINSTALLED	Existing	New Construction
D239	FOUNDATION TOP	6' - 0"	6' - 10"	SLIDING	ACCESSORY STRUCTURE	Existing	None
D240	NEW LEVEL 2 FF	5' - 8"	8' - 0"	FRENCH		New Construction	None
D242	LEVEL 1 FF	3' - 0"	7' - 0"	SINGLE	DUTCH DOOR	New Construction	None
D245	LEVEL 1 FF	2' - 8"	7' - 0"	SINGLE	DUTCH DOOR	New Construction	None
D246	NEW LEVEL 2 FF	5' - 0"	7' - 0"	BI-FOLD		New Construction	None
D247	NEW LEVEL 2 FF	2' - 8"	6' - 8"	SINGLE		New Construction	None
D248	NEW LEVEL 2 FF	2' - 8"	6' - 8"	POCKET		New Construction	None
D249	NEW LEVEL 2 FF	2' - 8"	6' - 8"	POCKET		New Construction	None
D251	NEW LEVEL 2 FF	2' - 6"	6' - 8"	SINGLE		New Construction	None
D253	LEVEL 1 FF	2' - 6"	6' - 8"	SINGLE		New Construction	None
D254	NEW LEVEL 2 FF	2' - 2"	6' - 8"	SINGLE		New Construction	None
D255	LEVEL 1 FF	2' - 6"	6' - 8"	SINGLE		New Construction	None
D256	LEVEL 1 FF	4' - 0"	6' - 8"	SLIDING		New Construction	None
D257	LEVEL 1 FF	2' - 8"	7' - 0"	SINGLE		New Construction	None
D258	LEVEL 1 FF	6' - 0"	6' - 10"	SLIDING	(E) DOOR, REINSTALLED	New Construction	None

WINDOW SCHEDULE								
Mark	Width	Height	Sill Height	Head Height	Operation	Comments	Phase Created	Phase Demolished
114	2' - 7"	4' - 8"	2' - 2"	6' - 10"	DOUBLE HUNG		Existing	New Construction
115	2' - 7"	4' - 8"	2' - 2"	6' - 10"	DOUBLE HUNG		Existing	New Construction
116	2' - 7"	4' - 8"	2' - 0"	6' - 8"	DOUBLE HUNG		Existing	New Construction
117	2' - 7"	4' - 8"	2' - 0"	6' - 8"	DOUBLE HUNG		Existing	New Construction
118	1' - 6"	2' - 6"	4' - 6"	7' - 0"	SINGLE HUNG		Existing	New Construction
119	3' - 4"	2' - 4"	3' - 8"	6' - 0"	KITCHEN BOX		Existing	New Construction
122	6' - 0"	2' - 6"	4' - 8"	7' - 2"	SLIDER		Existing	None
123	6' - 0"	1' - 6"	5' - 2"	6' - 8"	SLIDER		Existing	New Construction
124	6' - 0"	2' - 6"	8' - 0"	10' - 6"	SLIDER		New Construction	None
125	3' - 0"	5' - 0"	3' - 0"	8' - 0"	DOUBLE HUNG		New Construction	None
127	3' - 0"	5' - 0"	2' - 0"	7' - 0"	DOUBLE HUNG		New Construction	None
129	6' - 0"	3' - 0"	1' - 9"	4' - 9"	SLIDER		New Construction	None
130	6' - 0"	3' - 0"	1' - 9"	4' - 9"	SLIDER		New Construction	None
131	3' - 4"	2' - 4"	3' - 8"	6' - 0"	KITCHEN BOX		New Construction	None
132	3' - 0"	1' - 8"	7' - 4"	9' - 0"	FIXED		New Construction	None
133	3' - 0"	1' - 8"	7' - 4"	9' - 0"	FIXED		New Construction	None
134	6' - 0"	2' - 6"	4' - 8"	7' - 2"	SLIDER		New Construction	None
135	4' - 0"	2' - 0"	5' - 0"	7' - 0"	SLIDER		New Construction	None
137	6' - 0"	3' - 0"	5' - 0"	8' - 0"	SLIDER		New Construction	None
138	6' - 0"	3' - 0"	5' - 0"	8' - 0"	SLIDER		New Construction	None
139	4' - 0"	3' - 0"	5' - 0"	8' - 0"	SLIDER		New Construction	None
140	4' - 0"	3' - 0"	5' - 0"	8' - 0"	SLIDER		New Construction	None
141	2' - 7"	4' - 8"	3' - 4"	8' - 0"	DOUBLE HUNG		New Construction	None
142	2' - 7"	4' - 8"	3' - 4"	8' - 0"	DOUBLE HUNG		New Construction	None
143	2' - 7"	4' - 8"	3' - 4"	8' - 0"	DOUBLE HUNG		New Construction	None
144	2' - 7"	4' - 8"	3' - 4"	8' - 0"	DOUBLE HUNG		New Construction	None
146	6' - 0"	3' - 0"	5' - 0"	8' - 0"	SLIDER		New Construction	None
148	2' - 6 1/2"	4' - 0"			SKYLIGHT		New Construction	None
149	2' - 6 1/2"	4' - 0"			SKYLIGHT		New Construction	None
150	2' - 6 1/2"	4' - 0"			SKYLIGHT		New Construction	None
151	2' - 6 1/2"	4' - 0"			SKYLIGHT		New Construction	None
152	3' - 0"	5' - 0"	2' - 0"	7' - 0"	DOUBLE HUNG		New Construction	None
153	3' - 0"	5' - 0"	3' - 0"	8' - 0"	DOUBLE HUNG		New Construction	None
154	3' - 0"	5' - 0"	3' - 0"	8' - 0"	DOUBLE HUNG		New Construction	None
155	3' - 0"	5' - 0"	2' - 0"	7' - 0"	DOUBLE HUNG		New Construction	None
156	3' - 0"	1' - 8"	7' - 4"	9' - 0"	FIXED		New Construction	None
157	3' - 0"	1' - 8"	7' - 4"	9' - 0"	FIXED		New Construction	None
158	3' - 0"	1' - 8"	7' - 4"	9' - 0"	FIXED		New Construction	None
159	3' - 0"	5' - 0"	2' - 0"	7' - 0"	DOUBLE HUNG		New Construction	None
160	2' - 6"	3' - 0"	1' - 8"	4' - 8"	DOUBLE HUNG		New Construction	None
161	2' - 7"	4' - 8"	3' - 0"	7' - 8"	DOUBLE HUNG		New Construction	None
162	2' - 7"	4' - 8"	3' - 0"	7' - 8"	DOUBLE HUNG		New Construction	None

REV	DATE	DESCRIPTION
2	03/30/2020	REVISED DESIGN SET
3	04/03/2020	REVISED DESIGN SET
4	04/09/2020	PLANNING SUBMITTAL
5	05/12/2020	PLANNING RESUBMITTAL
6	05/29/2020	ZONING ADMINISTRATOR HEARING

PROJECT NAME:
**REMODEL AND 2ND STORY ADDITION
GINTER RESIDENCE**

PROJECT ADDRESS:
155 SALADA AVENUE
PACIFICA, CA 94044

PROJECT SCOPE:
REMODEL OF (E) SINGLE STORY
HOME WITH (N) 2ND STORY
ADDITION AND 2-STORY FRONT
PORCH